



# JOHNSON COUNTY COMMISSIONERS COURT

**Christopher Boedeker**  
County Judge

**Rick Bailey**  
Commissioner  
Precinct 1

**Kenny Howell**  
Commissioner  
Precinct 2

**Mike White**  
Commissioner  
Precinct 3

**Larry Woolley**  
Commissioner  
Precinct 4

THE STATE OF TEXAS

§  
§  
§

ORDER 2024-43

COUNTY OF JOHNSON

## ORDER APPROVING INFRASTRUCTURE DEVELOPMENT PLAN FOR VILLA DE MARIPOSAS MANUFACTURED HOME RENTAL COMMUNITY (MHRC) PURSUANT TO CHAPTER 232 OF THE TEXAS LOCAL GOVERNMENT CODE

**WHEREAS**, Texas Local Government Code Section 232.007 (a) defines a “Manufactured Home Rental Community” (MHRC) as a “plot or tract of land that is separated into two or more spaces or lots that are rented, leased, or offered for rent or lease, for a term of less than 60 months without a purchase option, for the installation of manufactured homes for use and occupancy as residences;” and

**WHEREAS**, an MHRC is not a subdivision under Section 232.007 (b); and

**WHEREAS**, Johnson County has exercised its authority to adopt minimum standards requiring any developer of an MHRC to submit an Infrastructure Development Plan (IDP) to the County for review and approval prior to construction and/or development in an MHRC; and

**WHEREAS**, pursuant to Section 232.007 (h), a utility provider may not provide utility services to an MHRC prior to the County’s approval of the IDP; and

**WHEREAS**, CRE-MPC Buffalo Creek Owner, LLC (Owner) has filed a proposed IDP for an MHRC identified as Villa de Mariposas and located at 1501 Park Blvd., Cleburne, Texas; and

**WHEREAS**, the boundaries of the proposed MHRC and described more fully in Exhibit A, which is attached hereto and incorporated herein by reference; and

**WHEREAS**, the proposed IDP is attached hereby as Exhibit B and incorporated by reference; and

**WHEREAS**, the attached IDP meets or exceeds the minimum standards adopted by Johnson County.

Filed For Record 8:48 AM

MAY 14 2024

April Long  
County Clerk, Johnson County Texas

BY April Long DEPUTY

**NOW THEREFORE BE IT ORDERED:**

The Commissioners Court of Johnson County, Texas does hereby enter this Order finding that the proposed Infrastructure Development Plan does comply with the minimum standards adopted by Johnson County for Manufactured Home Rental Communities, approving the IDP, authorizing the Owner to begin development that is consistent with the attached IDP, and authorizing the Director of Public Works to inspect the infrastructure and issue a Certificate of Completion so long as the infrastructure passes inspection and precisely conforms with the approved IDP.

**WITNESS OUR HAND THIS, THE 13<sup>TH</sup> DAY OF MAY 2024.**

\_\_\_\_\_  
**Christopher Boedeker, Johnson County Judge**

Voted: \_\_\_ yes, \_\_\_ no, \_\_\_ abstained

\_\_\_\_\_  
**Rick Bailey, Comm. Pct. 1**

Voted:  yes, \_\_\_ no, \_\_\_ abstained

\_\_\_\_\_  
**Kenny Howell, Comm. Pct. 2**

Voted:  yes, \_\_\_ no, \_\_\_ abstained

\_\_\_\_\_  
**Mike White, Comm. Pct. 3**

Voted:  yes, \_\_\_ no, \_\_\_ abstained

\_\_\_\_\_  
**Larry Woolley, Comm. Pct. 4**

Voted:  yes, \_\_\_ no, \_\_\_ abstained

\_\_\_\_\_  
**ATTEST: April Long, County Clerk**



**EXHIBIT A**  
**Description of Property**

FIELD NOTE description of a 42.264 acre tract of land lying within the T. H. MAGNESS Survey, Abstract No. 601 in Johnson County, Texas, and being all of the same land a called 42.213 acre tract conveyed to SDB Holdings, Inc. as described and recorded in Document Number 201300016045 of the Deed Records of Johnson County, Texas. Said 42.264 acre tract being more fully described as follows:

Bearings are based on the State Plane Coordinate System, Texas North Central Zone 4202, N.A.D. 1983.

BEGINNING at a ½" Iron Rod found for the Northwest corner of herein described tract, same being the Southwest corner of a called 185.059 acre tract conveyed to MAJ Holdings as described and recorded in Document Number 2021-05459 of the Deed Records of Johnson County, Texas, same point being on the East line of Park Blvd;

THENCE North 75 deg. 45 min. 29 sec. East along and with the South line of said called 185.059 acre tract a distance of 1969.10 feet to a 1/2" Iron Rod found for corner, same point being on the South line of said called 185.059 acre tract, same point also being on the West bank of Buffalo Creek, same point also being on the West line of a called 47.86 acre tract conveyed to David Reeves & Candace Reeves as described and recorded in Document Number 2019-11208 of the Deed Records of Johnson County, Texas;

THENCE along and with the West bank of Buffalo Creek as follows:  
South 27 deg. 00 min. 32 sec. East a distance of 256.37 feet to a 1/2" Iron Rod found for corner;  
South 02 deg. 42 min. 03 sec. East a distance of 177.43 feet to a 1/2" Iron Rod found for corner;  
South 19 deg. 18 min. 12 sec. West a distance of 137.85 feet to a 1/2" Iron Rod found for corner;  
South 44 deg. 19 min. 15 sec. West a distance of 156.00 feet to a 1/2" Iron Rod found for corner;  
South 63 deg. 45 min. 23 sec. West a distance of 58.75 feet to a 1/2" Iron Rod found for corner;  
South 65 deg. 45 min. 34 sec. West a distance of 258.43 feet to a 1/2" Iron Rod found for corner;  
South 70 deg. 27 min. 52 sec. West a distance of 250.89 feet to a 1/2" Iron Rod found for corner;  
South 32 deg. 04 min. 30 sec. West a distance of 57.31 feet to a 1/2" Iron Rod found for corner;  
South 06 deg. 32 min. 06 sec. West a distance of 50.16 feet to a 1/2" Iron Rod found for corner;  
South 03 deg. 49 min. 25 sec. East a distance of 66.13 feet to a 1/2" Iron Rod found for corner, same point being the most Westerly Northwest corner of said called 47.86 acre tract, same point also being on the North line of a called 75.000 acre tract conveyed to the City of Cleburne Texas as described and recorded in Book 2215 Page 593 of the Deed Records of Johnson County, Texas;

THENCE South 66 deg. 22 min. 30 sec. West along and with the North line of said called 75.000 acre tract a distance of 1567.55 feet to a point for corner, same point having a 3" steel post found brs: North 40 deg. 06 min. 48 sec. East a distance of 0.93 feet, same point for corner being the Northwest corner of said called 75.000 acre tract, same point also being on the East line of Park Blvd.;

THENCE North 05 deg. 33 min. 13 sec. East along and with the East line of Park Blvd. a distance of 1176.98 feet back to the POINT OF BEGINNING AND CONTAINING 42.264 ACRES OF LAND.



GENERAL NOTES

- 1. All construction shall conform to the North Central Texas Council of Governments (NCTCOG) Standard Specifications and Standard Drawings for Public Works Construction (latest edition) and the requirements of the Johnson County & the City of DeSoto unless otherwise noted.
2. Contractor shall be responsible for furnishing all materials and labor to construct the facility as shown and described in the construction documents in accordance with the Johnson County requirements. All work required by these notes shall be constructed in conformance with current safety codes and standards with jurisdiction over this project.
3. All utilities may not be shown on these plans. Location of existing utilities depicted on the plans may be obtained from available records and are approximate. The Contractor shall contact all appropriate utility companies to determine their facility existing prior to construction. The Contractor shall coordinate the exact location and depth of all buriable utility services and any required relocation and/or restoration.
4. Call DCS ISS (1-800-344-8377) and/or other utility location services of least 48 hours prior to construction activity. The Engineer bears no responsibility for locating or marking utilities or depicting exact locations on all drawings.
5. The Contractor shall repair or replace any physical damage to private property, including but not limited to, fences, walls, pavement, grass, trees, and irrigation systems of no cost to the Owner. The work shall be satisfactory to the contract (unless otherwise noted) and is not a separate pay item.
6. The Contractor shall be responsible for obtaining all necessary permits prior to construction. The Contractor shall, at all times, have a copy of any required construction permits, SWPPP (with revision history), and stormwater management (including plans, specifications, and special conditions) available at the job site.
7. Any discrepancies on the drawings shall be immediately brought to the attention of the Owner and Engineer before commencing work. No field changes or deviations from the drawings shall be made without prior approval of the Owner and permission to the Engineer. No construction will begin until all changes are approved by the Owner and Engineer.
8. All necessary inspections and/or certifications required by code, jurisdictional agency, and/or utility service shall be obtained by the contractor prior to project acceptance and the final connection of services.
9. The Contractor shall verify benchmarks and datum prior to commencing construction or staking of improvements.
10. Upon completion of the project, the Contractor shall provide the Engineer a copy of record drawings consisting of as-constructed or updated from the original plans.
11. The Contractor shall notify all affected parties and of authorized materials, subcontractors, or persons in charge of private and public utilities, or roadways affected by his operations at least 48 hours prior to commencement of work.
12. If the contract documents do not sufficiently describe the final product of the work shown on the plans, the Contractor shall bring such to the attention of the Engineer. Unless otherwise specified, it is the Contractor's responsibility for methodology of construction to complete the work indicated or specified. The Contractor is to provide materials and equipment wholly furnished with such systems, or required to complete the installation, unless otherwise specified, maintained or not.
13. The Contractor shall comply with all Occupational Safety and Health Administration (OSHA) standards and regulations, as well as any other applicable federal, state, or local health and safety standards, laws, or regulations. Failure to comply with the requirements specified shall be considered just and sufficient cause for the Owner to stop work.
14. The Contractor shall comply with Texas House Bill 1568, effective September 1, 1998, to establish a safe trench safety system of all trenches as well as the U.S. Department of Labor, OSHA, "Construction Safety and Health Regulations", 29 CFR Subpart P, and amendments thereto. Shoring, shoring, bracing, and other trench safety costs shall be subsidiary to the cost of construction (see extra pay).

DEMOLITION GENERAL NOTES

- 1. All demolition debris shall be disposed of legally in a permitted disposal facility.
2. Contractor is only remove trees designated by the owner, and dispose of legally at a permitted disposal facility. Tree removal to include stumps and root balls.
3. Contractor is responsible for locating all existing utilities and protecting them through construction.
4. Locations of existing structures and pavement to be removed are approximate and are shown for reference. Contractor is responsible for identifying the number, type, and size of all structures including pavement to be removed.
5. All structures and foundations on site are to be removed to a minimum elevation of 2 feet above the proposed finished site grade. If basements are encountered, they are to be built in engineered pits and brought to finished grade as directed by the geotechnical engineer.
6. The Contractor is responsible for identifying and obtaining all permits that are required for site demolition.
7. The Contractor shall contact with utility company prior to demolition to coordinate the disconnection/abandonment of utility services. All water and sanitary sewer services to be abandoned shall be disconnected and capped at the main or as required by the city.
8. The Contractor must meet the requirements of the Texas Pollution Discharge Elimination System General Permit No. TDR 150000, issued on March 5, 2023. If the project will disturb more than 1.0 acre of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.

UTILITY GENERAL NOTES

- 1. All materials and workmanship shall conform to the City of DeSoto standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the City of DeSoto addendum thereto.
2. All water mains shall be a minimum 300 PVC water pipe class 200.
3. All 8" through 15" water-sewer mains where PVC pipe is used shall be ASTM 3524 (SDR-35) unless otherwise specified.
4. The minimum minimum trench width for all pipe through 12" diameter shall be 32".

GRADE GENERAL NOTES

- 1. All materials and workmanship shall conform to Johnson County's standards and specifications and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the Johnson County addendum thereto.
2. The geotechnical report No. 22-12834-2 by Partner Assessment Corporation (dated November 30, 2022) is considered a part of the contract. The contractor must review it for construction requirements. If differences are noted between these plans and the geotechnical report, the requirements indicated on the geotechnical report shall govern. The contractor must contact the owner, civil engineer, and geotechnical firm and obtain their approval of all amendments and plan modifications.
3. Areas around the perimeter of the building shall be graded at a 3% for 10' to ensure proper drainage away from the foundation.
4. The contractor must refer to the geotechnical report, foundation plans, and foundation plans for 1) all basins and compaction requirements, 2) foundation water proofing and 3) underdrains and drainage drains around the perimeter of the building.
5. Grassy areas on the plans around the perimeter of the building are finished ground and are inclusive of existing material for proposed landscape beds, topsoil and sod for lawn areas, and pavement.
6. Should the contractor encounter any unusual geological conditions during the construction of the project, he must notify the geotechnical engineer for supplemental recommendations.
7. All areas to receive paving shall be stripped to effectively remove all vegetation, top soil, and debris, if present. Contour shall be prepared of topsoil strata. Topsoil shall be stockpiled for landscaping purposes.
8. The contractor shall establish erosion control measures to remove silt from the site. Water must not be allowed to pond on the site. The site shall be graded such that surface water drainage away from the work area is established and maintained at all times. Water must not be allowed to pond on the surface during construction.
9. The contractor shall provide sediment and erosion control measures as required by Johnson County throughout the construction of the project. Filter fabric siltcatchers shall be placed at the top and toe of slopes, in the low line of ditches and along the perimeter of the project. Erosion control must remain until landscaping is complete and ground cover is established.
10. All areas that will receive fill shall be pre-graded to identify slope zones. All work zones must be reinforced and replaced prior to fill placement. The entire area to receive fill shall then be reseeded and re-compact as specified in the geotechnical report.
11. Limitations of other materials used as fill shall be compacted to at least 95 percent of standard proctor maximum dry density. No individual rock pieces larger than 6 inches in diameter shall be used as fill. Additionally, no rock fill shall be used within 1 ft below the bottom of base or pavement slabs.
12. Fill materials shall be placed in loose lifts, between 6 to 8 inches thick, and each lift compacted to a minimum of 95 percent of the maximum dry density as defined in ASTM D 698 at 0 to 3 percent of the optimum moisture content. Each lift shall be inspected and approved by a qualified engineering technician, supervised by a geotechnical engineer before another lift is placed.
13. Testing is required, and shall be performed by a laboratory approved by the engineer/founder and paid for by the owner.
14. It is the responsibility of the contractor to locate and protect all public utilities in the construction of this project. All manholes, manholes, vent boxes, air hydrants, etc. must be adjusted to proper size and grade by the contractor prior to and after the placing of pavement joints.
15. The Contractor must meet the requirements of the Texas Pollution Discharge Elimination System General Permit No. TDR 150000, issued on March 5, 2023. If the project will disturb more than 1.0 acre of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.

EROSION CONTROL - GENERAL NOTES

- 1. The Contractor must meet the requirements of the Texas Pollution Discharge Elimination System General Permit No. TDR 150000, issued on March 5, 2023. If the project will disturb more than 1.0 acre of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.
2. As procedures and materials used for erosion control shall be approved by Johnson County.
3. It shall be the contractor's responsibility to use whatever means are necessary to control and limit silt and sediment leaving the site. Specifically, the contractor shall protect all public streets, alleys, streams, storm water systems and shall prevent erosion exposure. The contractor shall comply with storm water pollution prevention best management practices per Johnson County and TCEQ Requirements.
4. Silt fencing shall be placed with fence 2 1/2' high with approved equal accumulated sediment shall be graded every 800 feet periodically when necessary.
5. Prior to commencing any construction, perimeter silt fence shall be installed at the locations shown on the plans and a stabilized construction entrance shall be constructed per the Erosion Control and Storm Water Pollution Prevention Plans as applicable.
6. Plant materials must be suitable for use under local climate and soil conditions. In general, 1 year seedlings or seedling terminals shall be acceptable during the summer months (May 1 to August 30). Water type or native grass may be planted during times other than the summer months as a temporary measure until such time as the permanent planting can be made.
7. All joints are temporary, temporary sediment barriers and silt protection shall be installed in accordance with the Johnson County Specifications.
8. At the completion of the paving and final grading, the disturbed area(s) shall be regraded in accordance with the plans and specifications.
9. Silt fence and silt sediment barriers shall remain in place until revegetation has been completed.
10. Disturbed areas that are seeded or sodded shall be checked periodically to insure that grass coverage is properly maintained. Disturbed areas shall be watered, fertilized and reseeded or re-sodded, if necessary.
11. If the erosion control is removed for construction and/or access purposes, the contractor shall replace it at the end of each work day.
12. Erosion protection may be added or deleted per Johnson County.
13. If off-site soil storage or spoil sites are used in conjunction with this project, the stormwater shall be collected and stored in the Erosion Control Plan. Silt storage and spoil areas are considered a part of the project site and therefore shall comply with the erosion control requirements of Johnson County. These areas shall be stabilized with permanent ground cover prior to final approval of the project.
14. The Contractor must provide appropriate controls to minimize dust and erosion during the construction process. Controls may include, but are not limited to 1) moisture conditioning the soil through the application of water, 2) watering the soil with additives, or

- 3) covering the soils with less erodible materials, vegetation or pavement.
15. Erosion control measures may only be placed in front of basins, or in channels, ditches, or basins ditches at risk of contractor. Contractor shall remain liable for any damage caused by the measures, including flooding damage, which may occur due to blockage or drainage. At the conclusion of any project, all channels, ditches, and basins ditches in the work zone shall be dropped to any sediment generated by the project or located as a result of a result of erosion control measures.

STORM SEWER GENERAL NOTES

- 1. All materials and workmanship shall conform to the Johnson County standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the Johnson County addendum thereto.
2. All drainage structures shall be 1800 psi concrete at 28 days.
3. Reinforced Concrete Pipe shall be Class II unless otherwise noted. Preformed Butyl Pipe sealant shall be used on all pipe joints unless otherwise noted.
4. PVC pipe shall be SDR 35 (ASTM 3524) unless otherwise noted.
5. All pipe bedding shall be compacted to 93% of standard proctor density in six (6) inch lifts.
6. Water jacking will not be allowed.
7. All use of tee connections and bands shall be manufactured fittings.
8. Contractor is responsible for locating all utilities and coordinating with utility companies prior to construction.

PAVING GENERAL NOTES

- 1. All materials and workmanship shall conform to the Johnson County standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the Johnson County addendum thereto.
2. The paving contractor shall be responsible for the adjustment of water and sanitary sewer departments in accordance with the standard details and specifications of the Johnson County.
3. Subgrade shall be verified to depth of at least 6" and compacted to 93% percent of Standard Proctor density (ASTM D 698) at 3 percentage points of the moisture optimum moisture content. The subgrade shall be in a moist condition at the time concrete is deposited thereon.
4. Dummy joints shall be formed by one of the following methods: sawed, form-formed or formed by pressure. Hand formed joints shall have a maximum edge radius of one-fourth (1/4) inch. Sawed joints should be made as soon as the concrete has hardened sufficiently to permit sawing without excessive raveling. All joints should be compacted before uncontrolled shrinkage cracking occurs. Joints should be continuous across the slab unless interrupted by full-depth premolded joint filler and should extend completely through the curb. All joint openings shall be cleaned and sealed before opening paved area to traffic.

JOINT SPOCING

- Expansion joints 30' max
Sawed joints 12' for 3" thick pavement
15' for 4" or thicker pavement
Construction joints located at Sawed joints or Expansion joints
1. Expansion joints or construction joints shall be used to isolate road objects abutting or within the paved area. They should contain premolded joint filler for the full depth of the slab.
2. All dimensions are to face of curb unless otherwise noted.
3. All concrete shall be Class "C" concrete and have a min compressive strength of 3500 psi at 28 days, and a minimum of 32% air entrained unless otherwise noted.
4. Contractor shall obtain and pay for all permits required.
5. Contractor shall dispose of surplus dirt, debris, etc., legally off-site. All work areas shall be cleaned up at the completion of the work.
6. Surface finishing shall be wet resistant, a liquid curing compound shall be uniformly sprayed on the concrete immediately after the finishing operation.
7. Contractor shall provide all safety devices for the protection of the public.
8. All paving slabs to be marked by a 4" wide painted white stripe as indicated on the drawings.
9. Concrete pavement and structures shall be backfilled as soon as possible after forms are removed.
10. The lanes shall be marked by six (6) inch wide white traffic paint with the marking "PARKING" and "ONE WAY" painted on the area of interest at fifteen (15) feet and lettering will be four (4) inches high and one (1) inch wide painted with white traffic paint or as required by the City.
11. All Barrier Free Ramps (BFR) if shown, must meet current American Disability Act (ADA) and Texas Accessibility Standards (TAS) requirements for slope, surface finish, and color.
12. Barriers on BFR may consist of pavers with raised truncated cones, the full width and

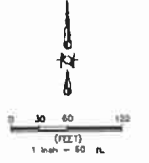


RLG CONSULTING ENGINEERS
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GENERAL NOTES
CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS
REVISION: RLG 4/18/2024 2223 007 C00.00



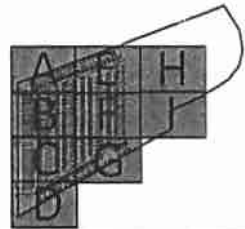


MAJ HOLDINGS  
CALLED 185.059 ACRES  
DOC. NO. 2021-5459



**GRID SIZE**

BLOCK	16'x76'	18'x80'	28'x66'
A	0	11	0
B	0	12	0
C	0	20	0
D	0	0	14
E	39	0	0
F	1	37	0
G	0	33	0
H	16	0	0
<b>TOTAL</b>	<b>55</b>	<b>113</b>	<b>14</b>



**RLG CONSULTING ENGINEERS**  
1500 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75210  
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**OVERALL SITE PLAN**

**CLEBURNE RESIDENTIAL**

**1501 PARK BLVD**

**CLEBURNE, TX, 76033**

**JOHNSON COUNTY, TEXAS**

REVISION	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02 00

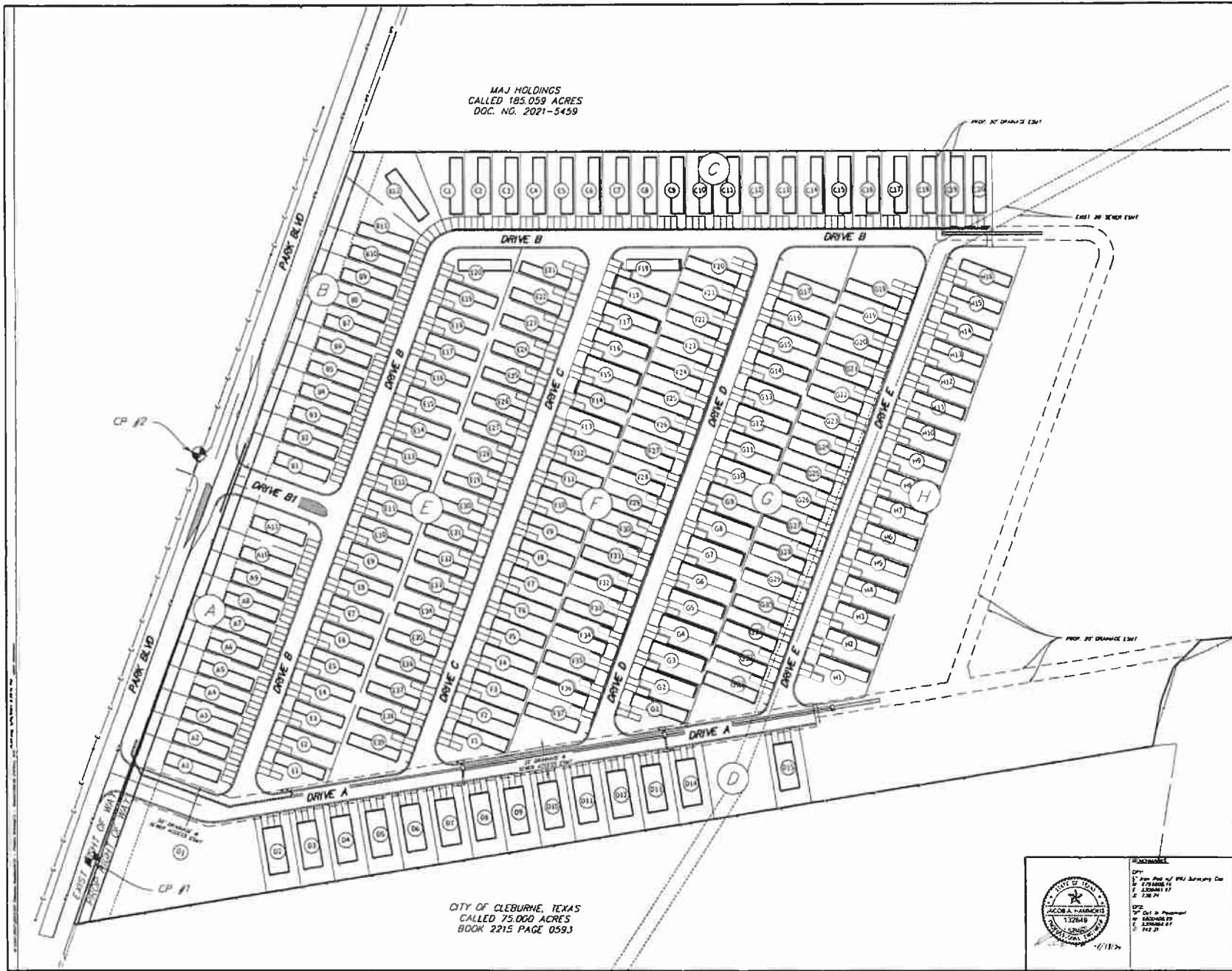


**REVISIONS**

CP1  
1. Add Plot of 194 Surveying Co  
to 478 0000 14  
2. 020001 17  
3. 2.28.24

CP2  
1. Add to Plotment  
of 860048 09  
2. 020001 17  
3. 2.28.24

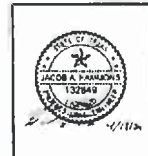
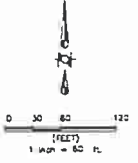
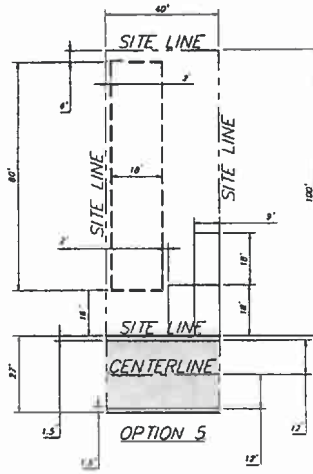
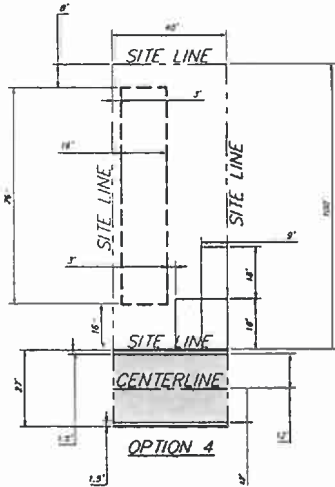
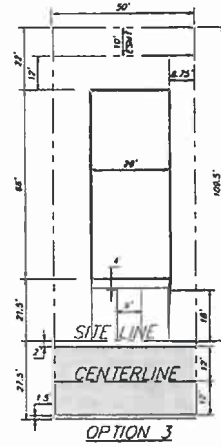
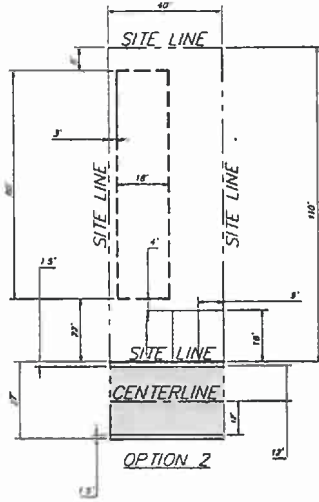
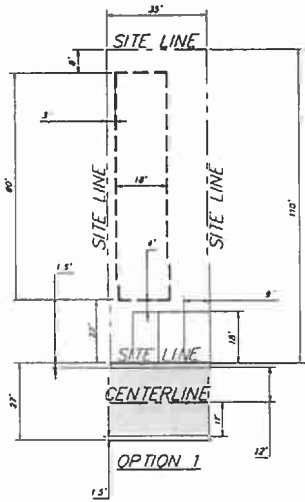
CITY OF CLEBURNE, TEXAS  
CALLED 75.000 ACRES  
BOOK 2215 PAGE 0593










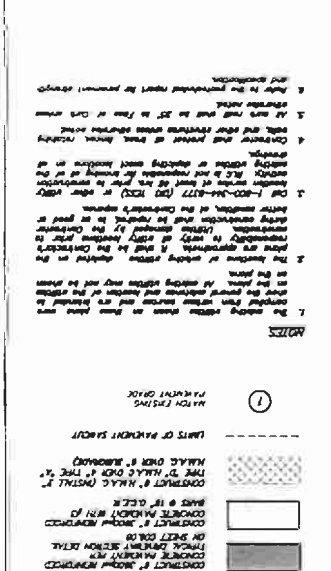








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SITE DETAILS					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REV#	DATE	FILE	NUMBER	SHEET	
RLG	RLG	4/18/2024	2223	007	C02.01

PROJECT	DATE	SCALE	SHEET
1501 PARK BLVD	04/18/2024	1/4" = 1'-0"	002 OF 04
CLEBURNE RESIDENTIAL			
JOHNSON COUNTY, TEXAS			
			
			

DRIVE B PLAN & PROFILE (SHEET 1 OF 2)



- LEGEND**
-  CONCRETE PAVEMENT WITH 2\"/>
  -  CONCRETE PAVEMENT WITH 1\"/>
  -  CONCRETE PAVEMENT WITH 1\"/>
  -  CONCRETE PAVEMENT WITH 1\"/>
  -  LIMITS OF PAVEMENT SHOULDER
  -  MATCH POINT

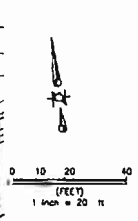
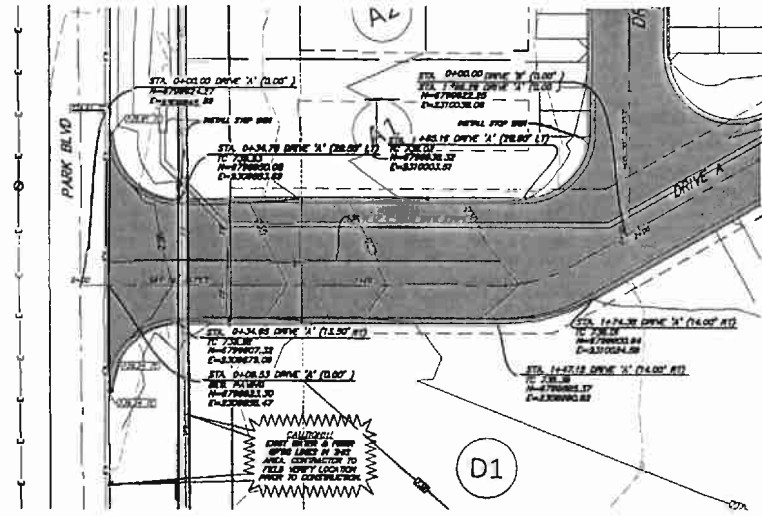
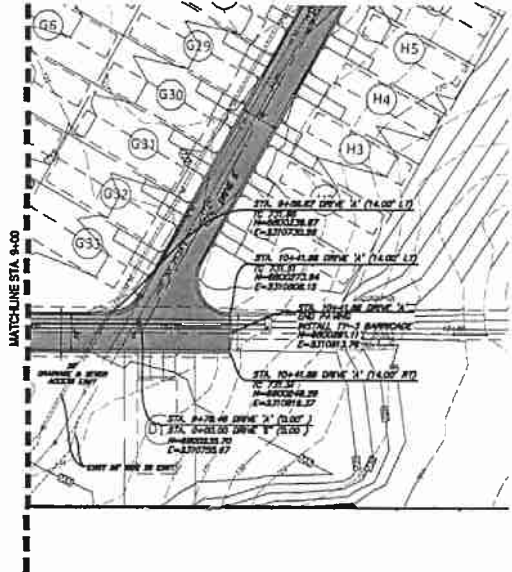
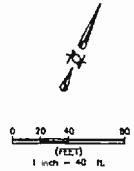
**NOTES**

1. The existing ground surface on this plan view was obtained from a recent survey and is shown as a solid line. All existing structures are shown as they exist on the plan.
2. The location of existing structures shown on the plan are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utility locations shown on this plan are approximate and are shown as they exist on the plan.
3. All utility lines shown on this plan are shown as they exist on the plan. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utility locations shown on this plan are approximate and are shown as they exist on the plan.
4. All utility lines shown on this plan are shown as they exist on the plan. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utility locations shown on this plan are approximate and are shown as they exist on the plan.
5. All utility lines shown on this plan are shown as they exist on the plan. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utility locations shown on this plan are approximate and are shown as they exist on the plan.
6. Refer to the preliminary report for pavement design and construction.

1" = 40' HORIZONTAL  
1" = 4' VERTICAL

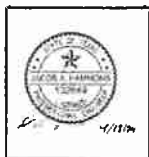
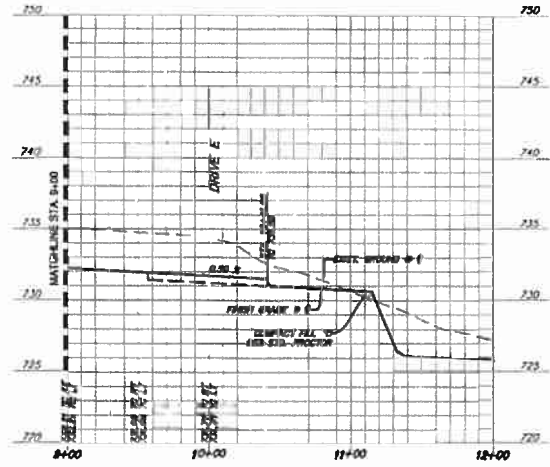


DATE: 04/18/2024  
DRAWN BY: [Name]  
CHECKED BY: [Name]



- LEGEND**
- CONSTRUCT 6" 3000psi REINFORCED CONCRETE PAVEMENT PER TYPICAL DRIVEWAY SECTION DETAIL ON SHEET 00A.03
  - CONSTRUCT 6" 3000psi REINFORCED CONCRETE PAVEMENT WITH #1 BARS @ 18" O.C.E.R.
  - CONSTRUCT 6" M.M.A.G. (INSTALL 1" TYPE 'D' M.M.A.G. OVER 4" TYPE 'A' M.M.A.G. OVER 4" SUBGRADE)
  - LIMITS OF PAVEMENT SARCUT
  - MATCH EXISTING PAVEMENT GRADE

- NOTES**
1. The existing utilities shown on these plans were compiled from various sources and are intended to show the general nature and location of the utilities on the plans. All existing utilities may not be shown on the plans.
  2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Damages sustained by the Contractor during construction shall be repaired to an equal or better condition at the Contractor's expense.
  3. Call 1-800-344-2377 (311 TEXS) or other utility location service at least 48 hrs. prior to construction activity. RLG is not responsible for locating all of the existing utilities or detecting exact locations as of drawings.
  4. Contractor shall protect all trees, fences, existing walls, and other structures unless otherwise noted.
  5. All curb radii shall be 35' in Plans of Curb unless otherwise noted.
  6. Refer to the geotechnical report for pavement strength and specifications.



**REVISIONS**

01	1" Plan and Profile	4/11/24
02	2" Plan and Profile	4/11/24

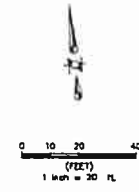
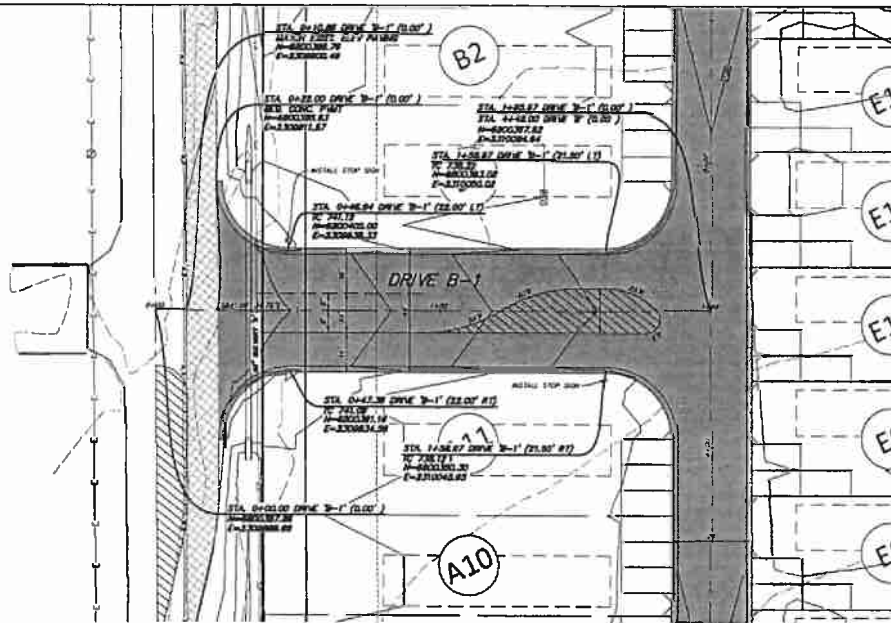
**RLG CONSULTING ENGINEERS**  
 12001 N. CENTRAL EXPRESSWAY, SUITE 4000, DALLAS, TX 75243  
 4625 W. VALLEY ROAD, SUITE 9100, FORT WORTH, TX 76104  
 WWW.RLGCONS.COM TEXAS PLAM REG. P-103

**DRIVE A PLAN & PROFILE (SHEET 2 OF 2)**

**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

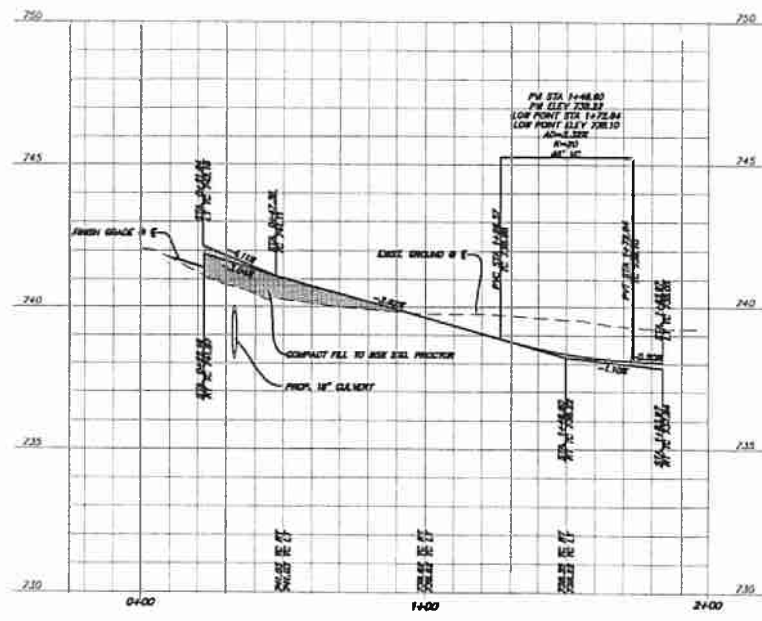
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.03





- LEGEND**
- CONSTRUCT 8" 3000# REINFORCED CONCRETE PAVEMENT FOR TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C02.06
  - CONSTRUCT 8" 3000# REINFORCED CONCRETE PAVEMENT WITH 3/4" BARS @ 18" O.C.E.W.
  - CONSTRUCT 8" M.A.L.C. (INSTALL 3" TYPE 'B' M.A.L.C. OVER 4" TYPE 'A' M.A.L.C. OVER 8" SUBGRADE)
  - LIMITS OF PAVEMENT SLOTTED
  - MATCH EXISTING PAVEMENT GRADE

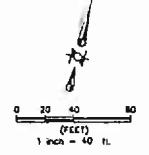
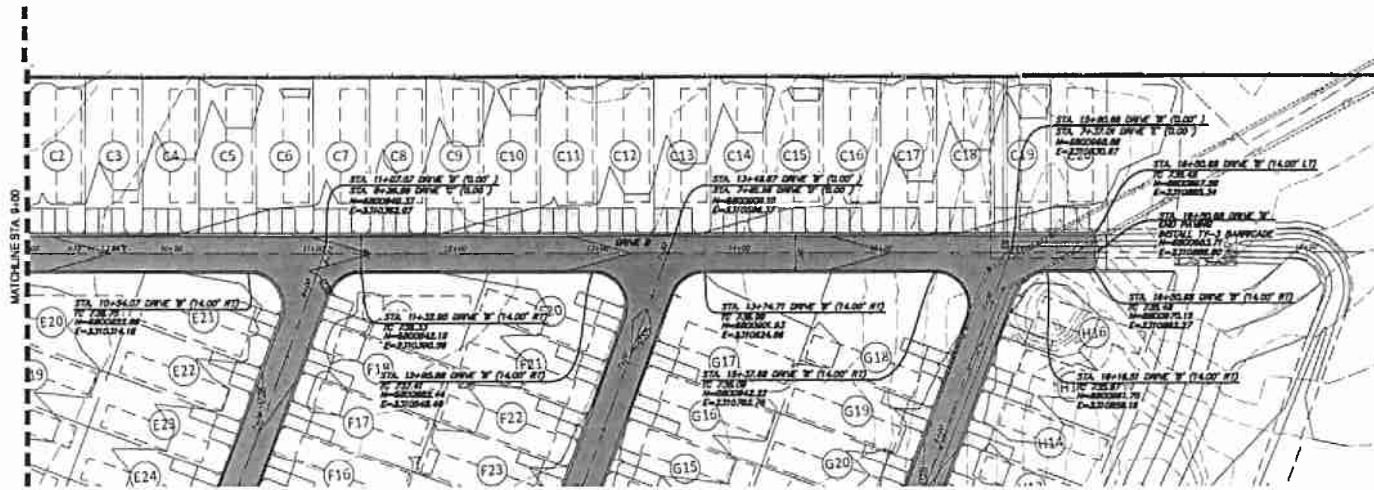
- NOTES**
1. The existing utility shown on these plans were surveyed from various sources and are intended to show the general substance and location of the utilities on the plans. All existing utilities may not be shown on the plans.
  2. The locations of existing utilities indicated on the plans are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired to as good or better condition, at the Contractor's expense.
  3. Call 1-800-344-8377 (NO TESS) or other utility location service at least 48 hrs. prior to construction activity. RLG is not responsible for locating all of the existing utilities or indicating exact locations on all drawings.
  4. Contractor shall protect all trees, lawns, existing walls, and other structures whose existence is noted.
  5. All curb radii shall be 25' to face of curb unless otherwise noted.
  6. Refer to the geotechnical report for pavement strength and specifications.



**REVISIONS**

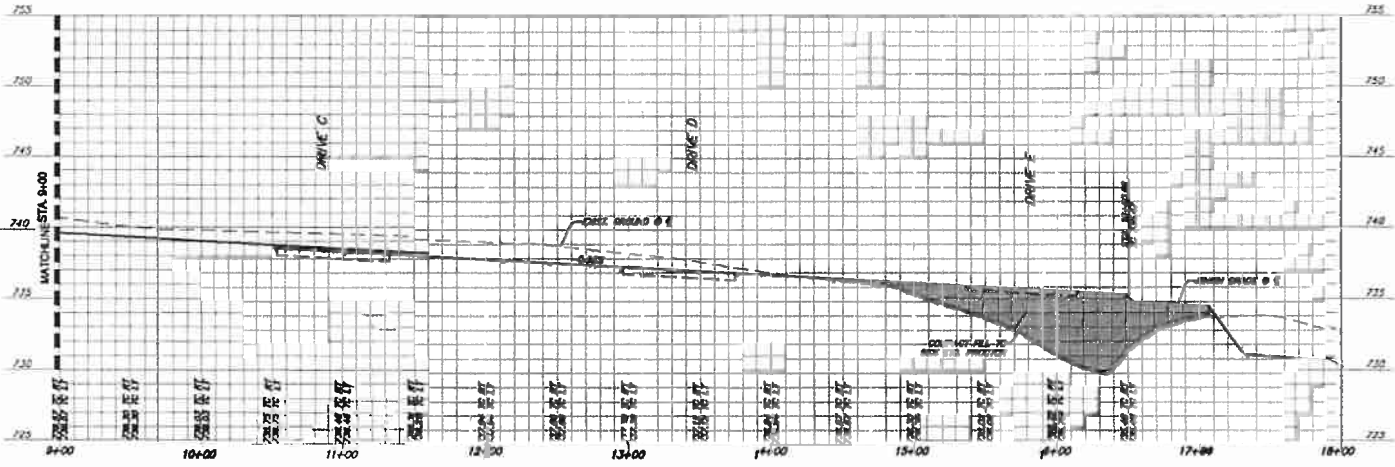
1. Per Rev. of 001 Surveying Co.  
 2. 08/20/24  
 3. 08/20/24  
 4. 08/20/24

<b>RLG CONSULTING ENGINEERS</b> 13001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243 853 W. HOLLYWOOD BLVD. FORT WORTH, TX 76104 WWW.RLGCONC.COM TEL# 972.352.7800					
<b>DRIVE B-1 PLAN &amp; PROFILE</b> CLEBURNE RESIDENTIAL 1501 PARK BLVD CLEBURNE, TX 76033 JOHNSON COUNTY, TEXAS					
REVISED	DATE	BY	NUMBER	SHEET	
RLG	4/18/2024	2223	007	C02.06	



- LEGEND**
- CONSTRUCT 8" 300MM REINFORCED CONCRETE PAVEMENT FOR TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C02.05
  - CONSTRUCT 8" 300MM REINFORCED CONCRETE PAVEMENT WITH 30' SLABS @ 18" G.C.C.R.
  - LIMITS OF PAVEMENT SHOWN
  - MATCH EXISTING PAVEMENT GRADE

- NOTES**
1. The existing utilities shown on these plans were sampled from various sources and are intended to show the general substance and location of the utilities on the plans. All existing utilities may not be shown on the plans.
  2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utilities managed by the Contractor during construction shall be reported, to as paid or better condition, of the Contractor's expense.
  3. Call 1-800-344-8177 (TxDOT 2833) or other utility location services at least 48 hrs. prior to construction activity. RLG is not responsible for locating of the utility utilities or depicting exact locations on drawings.
  4. Contractor shall protect all trees, known, remaining wells, and other structures unless otherwise noted.
  5. All curb radii shall be 25' to Face of Curb unless otherwise noted.
  6. Refer to the geotechnical report for pavement strength and specifications.



**REVISIONS**

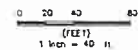
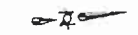
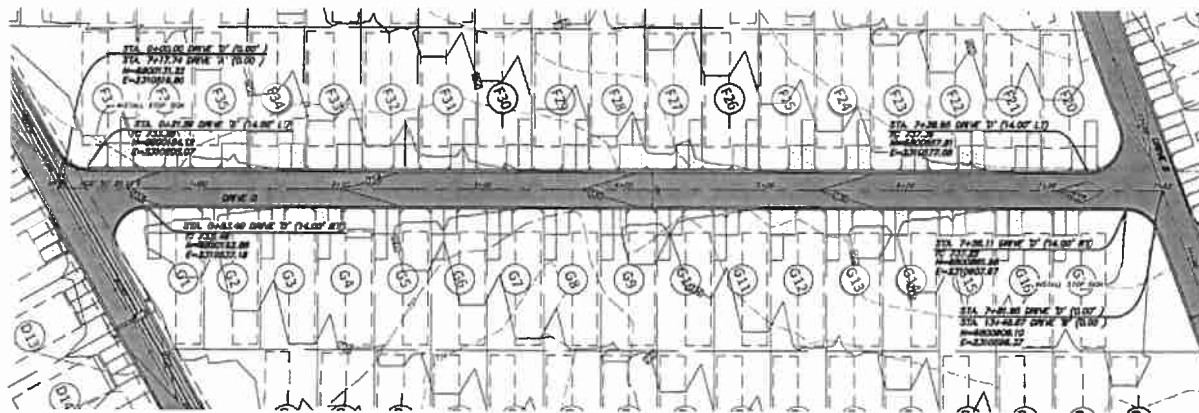
REV. 1: Per Rev. of P&I Surveying Data  
 DATE: 2/28/24 BY: J. [Name]  
 REV. 2: Call to Amend  
 DATE: 3/28/24 BY: J. [Name]

<b>RLG CONSULTING ENGINEERS</b>			
3308 W. CENTRAL EXPRESSWAY SUITE 200 DALLAS, TX 75243 825 W. HOLMES BOULEVARD #108 FORT WORTH, TX 76104 WWW.RLGCE.COM TEL: 817.328.7400			
<b>DRIVE B PLAN &amp; PROFILE (SHEET 2 OF 2)</b>			
<b>CLEBURNE RESIDENTIAL</b>			
1501 PARK BLVD			
CLEBURNE, TX, 76033			
JOHNSON COUNTY, TEXAS			
REVIEW	DRAWN	DATE	SHEET
RLG	RLG	4/18/2024	2223 007 C02.05







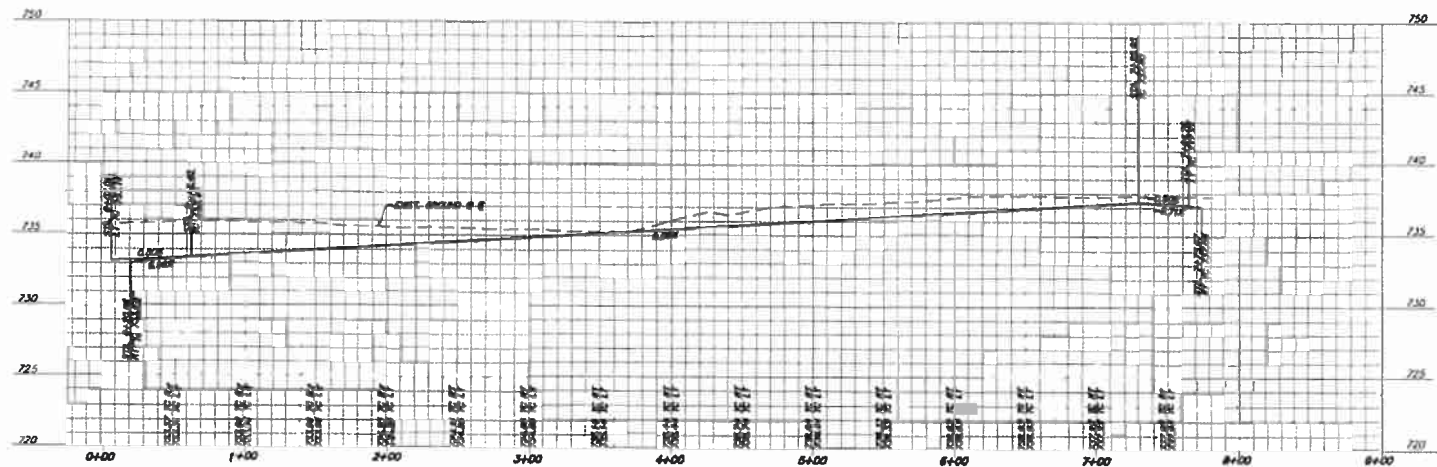


**LEGEND**

- CONSTRUCT 6" 3000# REINFORCED CONCRETE PAVEMENT PER TYPICAL EXHIBIT SECTION DETAIL ON DIST. 02108
- CONSTRUCT 6" 3000# REINFORCED CONCRETE PAVEMENT WITH 40 BARS @ 18" O.C.E.S.
- CONSTRUCT 6" M.M.A.C. (INSTALL 6" TYPE 10" M.M.A.C. OVER 6" TYPE 2" M.M.A.C. OVER 6" SUBGRADE)
- LIMITS OF PAVEMENT SLOTT
- MATCH EXISTING PAVEMENT GRADE

**NOTES**

1. The existing utilities shown on these plans were searched from various sources and are intended to show the general substance and location of the utilities on the plan. All existing utilities may not be shown on the plan.
2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired to as good or better condition, at the Contractor's expense.
3. Call 1-800-344-8377 (TOD JESS) or other utility location service of local A&E firm, prior to construction activity. RLG is not responsible for locating all of the existing utilities or depicting exact locations on all drawings.
4. Contractor shall protect all trees, bushes, retaining walls, and other structures unless otherwise noted.
5. All curb radii shall be 35' to Face of Curb unless otherwise noted.
6. Refer to the professional report for pavement strength and specifications.



**RLG CONSULTING ENGINEERS**  
 13006 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243  
 825 W. WILSON ROAD SUITE #105 FORT WORTH, TX 76104  
 WWW.RLG-ENG.COM TEL: 817.342.7400

**DRIVE D PLAN & PROFILE**  
**CLEBURNE RESIDENTIAL**  
**1501 PARK BLVD**  
**CLEBURNE, TX, 76033**  
**JOHNSON COUNTY, TEXAS**

REVISION	DATE	FILE	NUMBER	SHEET
RLG	4/18/2024	2223	007	C02.08

**RECOMMENDATION**

1. For use of 100% Surveying Data

2. EXHIBIT 11

3. EXHIBIT 12

4. EXHIBIT 13

5. EXHIBIT 14

6. EXHIBIT 15

7. EXHIBIT 16

8. EXHIBIT 17

9. EXHIBIT 18

10. EXHIBIT 19

11. EXHIBIT 20

12. EXHIBIT 21

13. EXHIBIT 22

14. EXHIBIT 23

15. EXHIBIT 24

16. EXHIBIT 25

17. EXHIBIT 26

18. EXHIBIT 27

19. EXHIBIT 28

20. EXHIBIT 29

21. EXHIBIT 30

22. EXHIBIT 31

23. EXHIBIT 32

24. EXHIBIT 33

25. EXHIBIT 34

26. EXHIBIT 35

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28. EXHIBIT 37

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41. EXHIBIT 50

42. EXHIBIT 51

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90. EXHIBIT 99

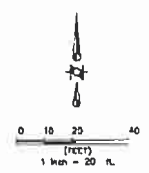
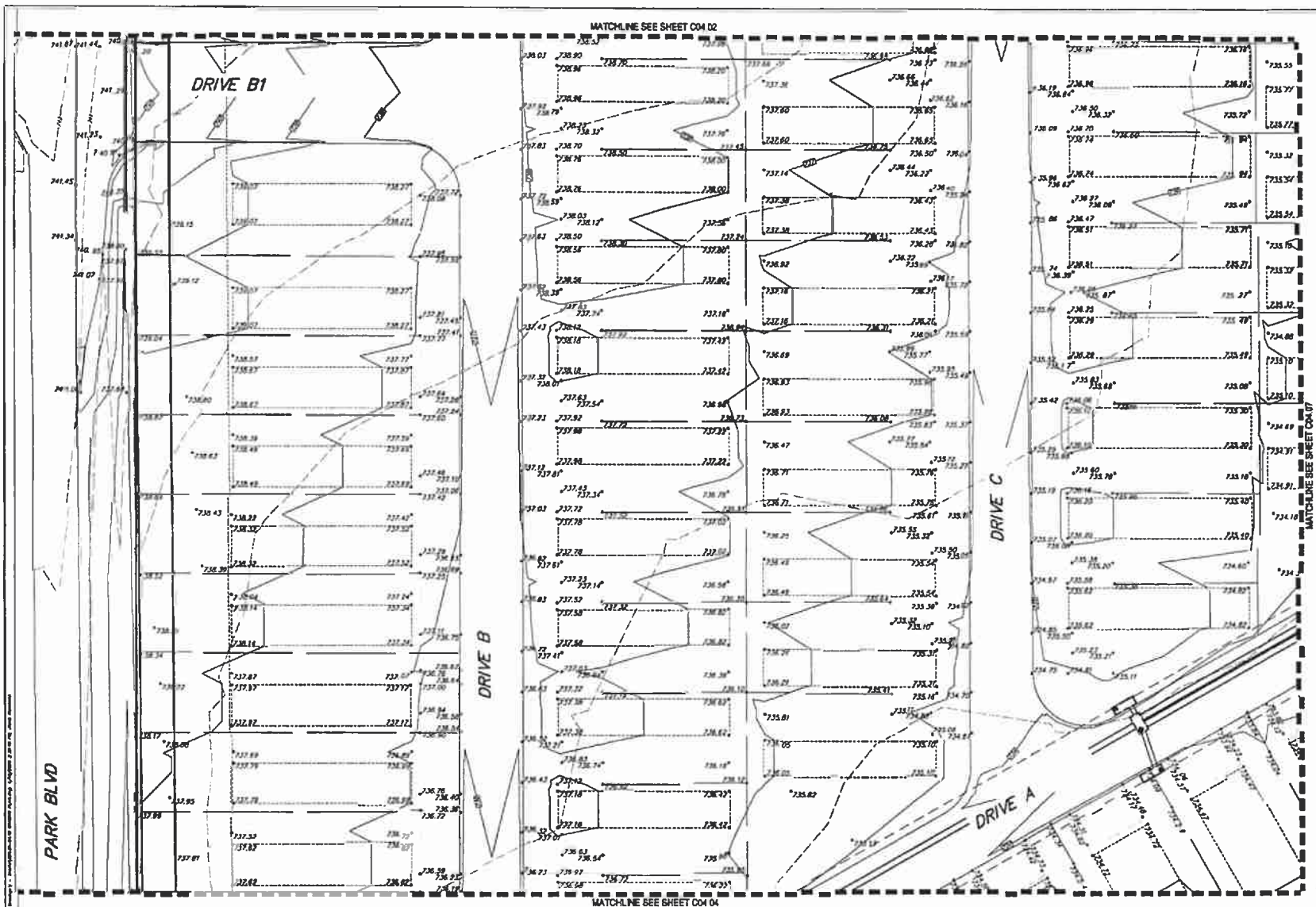
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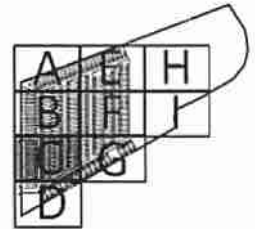






**LEGEND**

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAYMENT SAW CUT



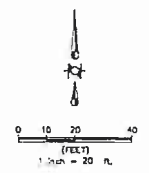
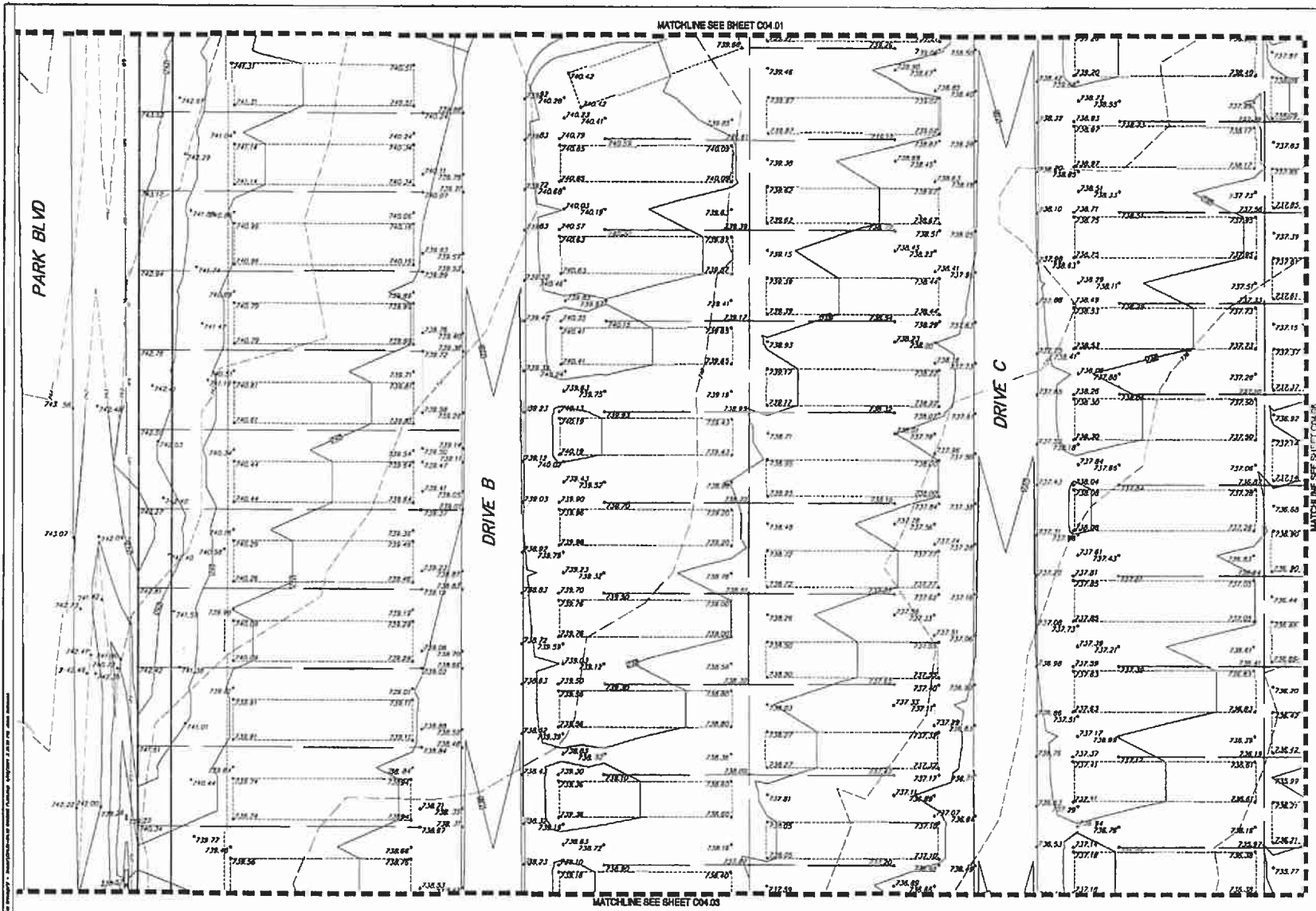
**RLG CONSULTING ENGINEERS**  
 1200 W. CENTRAL EXPRESSWAY SUITE 200 DALLAS, TX 75243  
 825 W. VICKERY BOULEVARD FLOOR 1001 WORTH, TX 76104  
 WWW.RLGC.COM TEL: 214.760.7400

**GRADING PLAN - SECTION C**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

REVISION	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.03

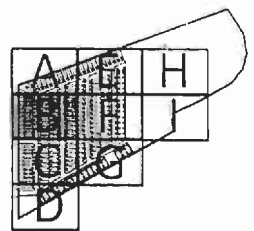


**REVISIONS**  
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 100. 4/18/24



**LEGEND**

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAVEMENT SAWCUT



**RLG CONSULTING ENGINEERS**  
 12001 N. CENTRAL EXPRESSWAY SUITE 2000 DALLAS, TX 75243  
 972.351.9100 FAX 972.351.9101  
 WWW.RLG.COM TIME PERM RLG 7-03

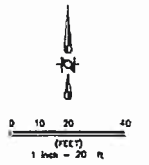
**RESPONSIBLE ENGINEER**  
 DATE: 4/18/2024  
 PROJECT: 1501 PARK BLVD  
 SHEET: 007

**GRADING PLAN - SECTION B**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX 76033  
 JOHNSON COUNTY, TEXAS

REVIEW	DATE	FILE	NUMBER	SHEET	
RLG	RLG	4/18/2024	2223	007	C04.02



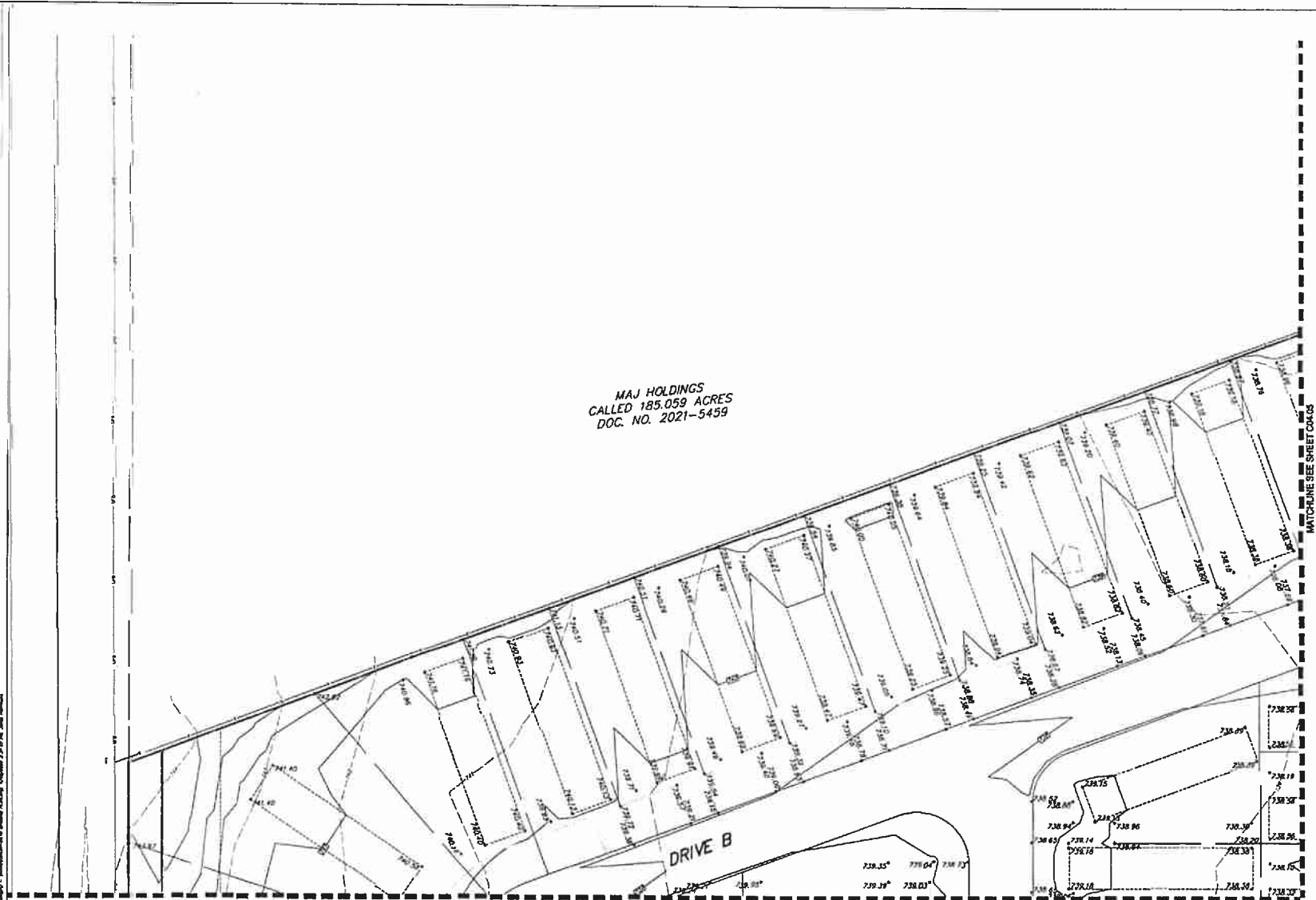
DATE: 4/18/2024  
 PROJECT: 1501 PARK BLVD  
 SHEET: 007



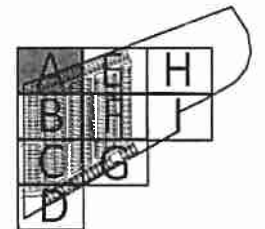
MAJ HOLDINGS  
CALLED 185.059 ACRES  
DOC. NO. 2021-5459

**LEGEND**

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAVEMENT SAWCUT



MATCHLINE SEE SHEET C04.02



**RLG CONSULTING ENGINEERS**  
12004 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243  
802 W. TULSA BOULEVARD #100 POST RICH TX 75084  
WWW.RLG-CE.COM TDD# 972.982.7463

**GRADING PLAN - SECTION A**

**CLEBURNE RESIDENTIAL**

**1501 PARK BLVD**

**CLEBURNE, TX, 76033**

**JOHNSON COUNTY, TEXAS**

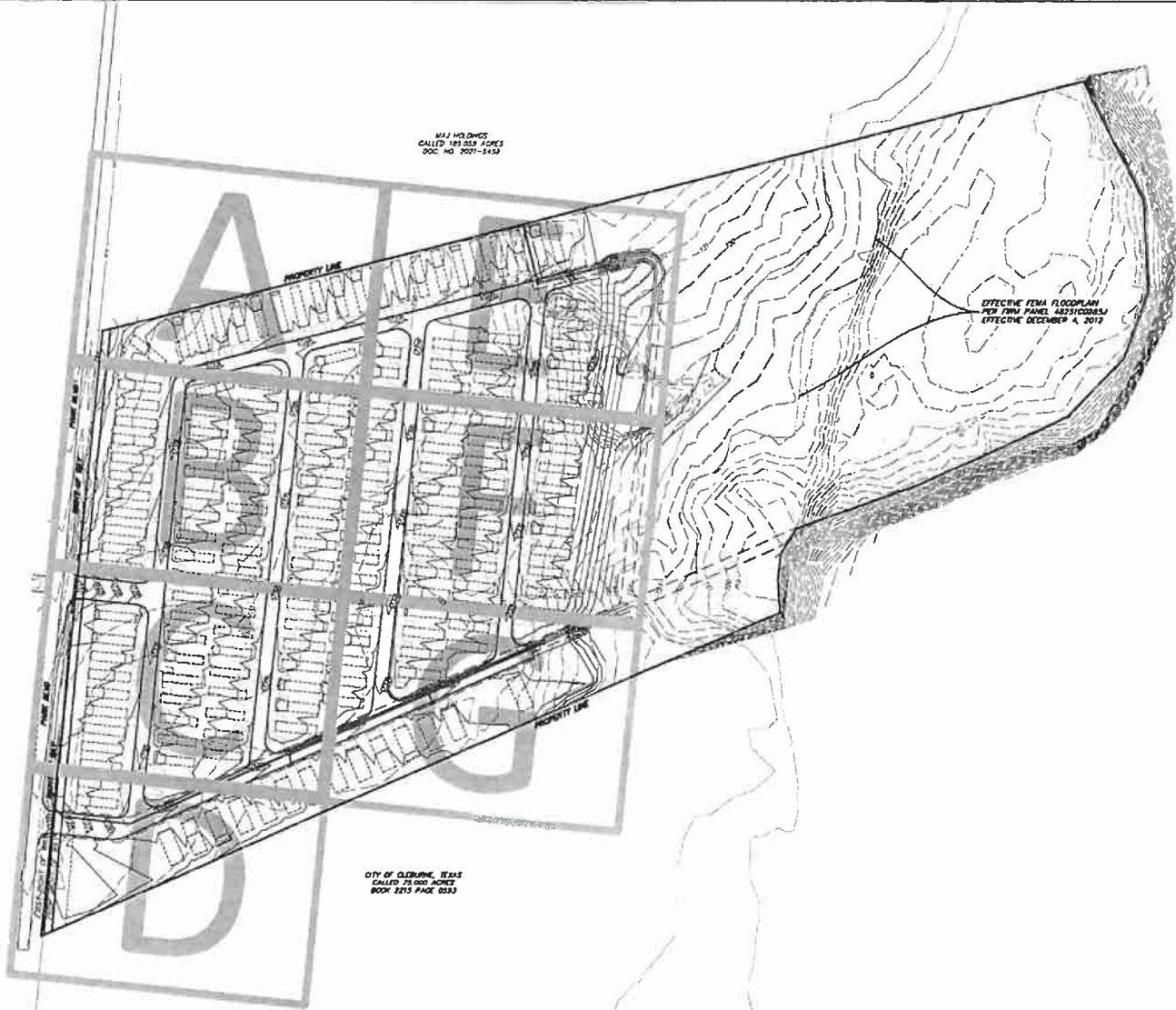
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.01

**DESIGNER**  
CIVIL  
1. Proj. No. 2223 / 007 Surveying Dept.  
2. 2/28/24  
3. 2/28/24  
4. 2/28/24

**CHKD BY**  
2. 2/28/24  
3. 2/28/24  
4. 2/28/24

4/17/24

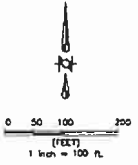




M/J HOLDINGS  
CALLED 163.059 ACRES  
DOC. NO. 2027-1452

EFFECTIVE FEMA FLOODPLAIN  
PER FEMA PANEL 482530001  
EFFECTIVE DECEMBER 4, 2017

CITY OF CLEBURNE, TEXAS  
CALLED 75.000 ACRES  
BOOK 2215 PAGE 0133



**LEGEND**

- 100 — EXISTING MAJOR CONTOUR LINE
- 100 — PROPOSED MAJOR CONTOUR LINE

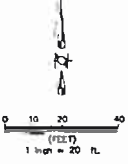
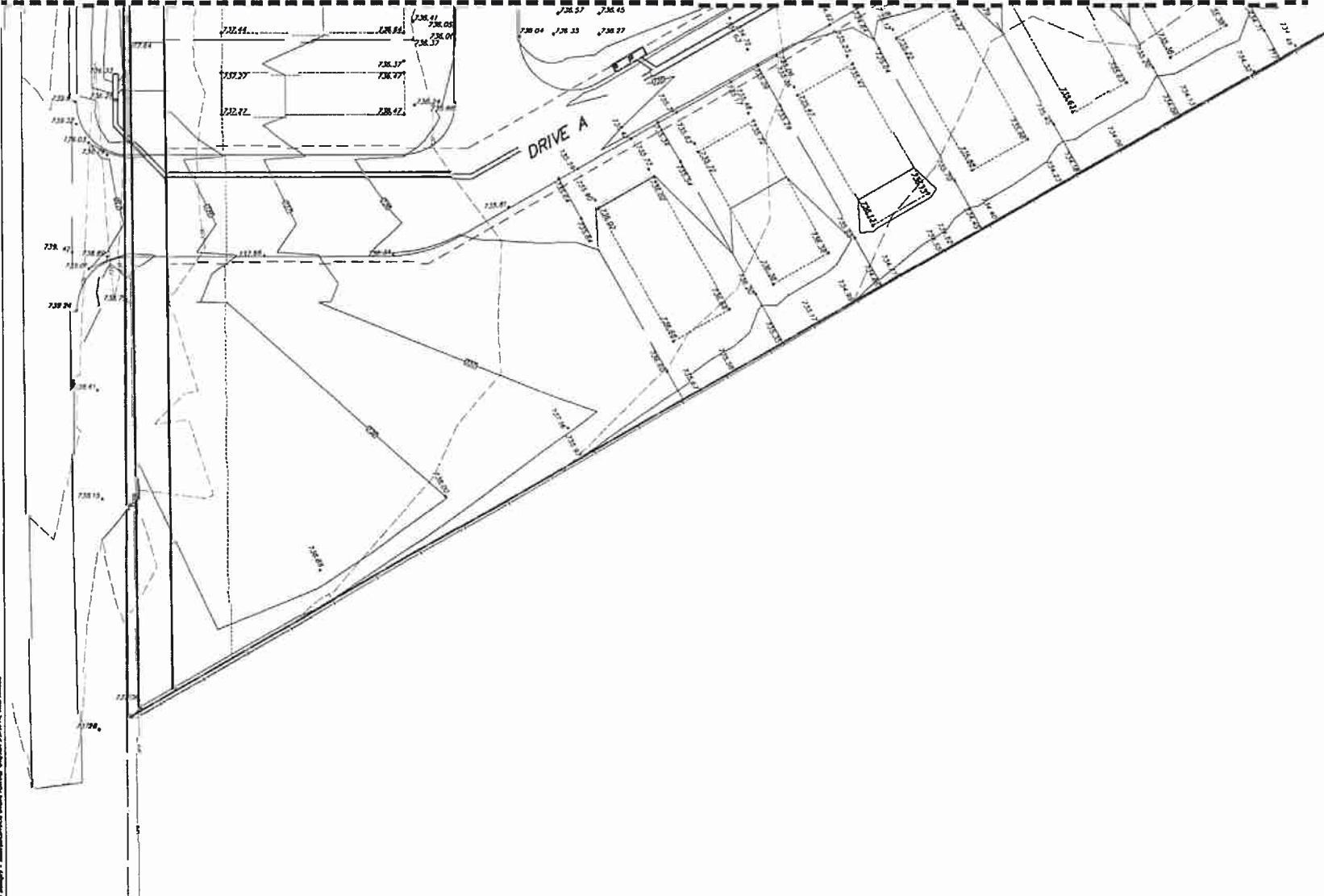
P:\2024\151\151.dwg (1/18/2024 10:00:00 AM) - PLOT (1/18/2024 10:00:00 AM) - PLOT (1/18/2024 10:00:00 AM) - PLOT (1/18/2024 10:00:00 AM)



**BOUNDARY**  
 CPT:  
 1. Area of 163.059 Acres  
 2. 170.000 ft  
 3. 1.0000 ft  
 4. 2.50 ft  
 CPT:  
 1. Date of Placement  
 2. 000.000 ft  
 3. 2.0000 ft  
 4. 2.50 ft

<b>RLG CONSULTING ENGINEERS</b> 18001 N. CENTRAL EXPRESSWAY SUITE 2000 DALLAS, TX 75243 88 E. W. WICKLIFF DRIVE SUITE 2100 FORT WORTH, TX 76104 WWW.RLGCONS.COM    TOLL FREE 800. 7. 4853					
<b>OVERALL GRADING PLAN</b>					
<b>CLEBURNE RESIDENTIAL</b>					
<b>1501 PARK BLVD</b>					
<b>CLEBURNE, TX, 76033</b>					
<b>JOHNSON COUNTY, TEXAS</b>					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	004.00

MATCHLINE SEE SHEET C04.03



**LEGEND**

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAVEMENT SAWCUT



**RLG CONSULTING ENGINEERS**  
 1200 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75204  
 808 W. WINDY BOUNDARY #108 FORT WORTH, TX 76104  
 WWW.RLGCNC.COM TSP# 8 P&M REG. P-463

**GRADING PLAN - SECTION D**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS



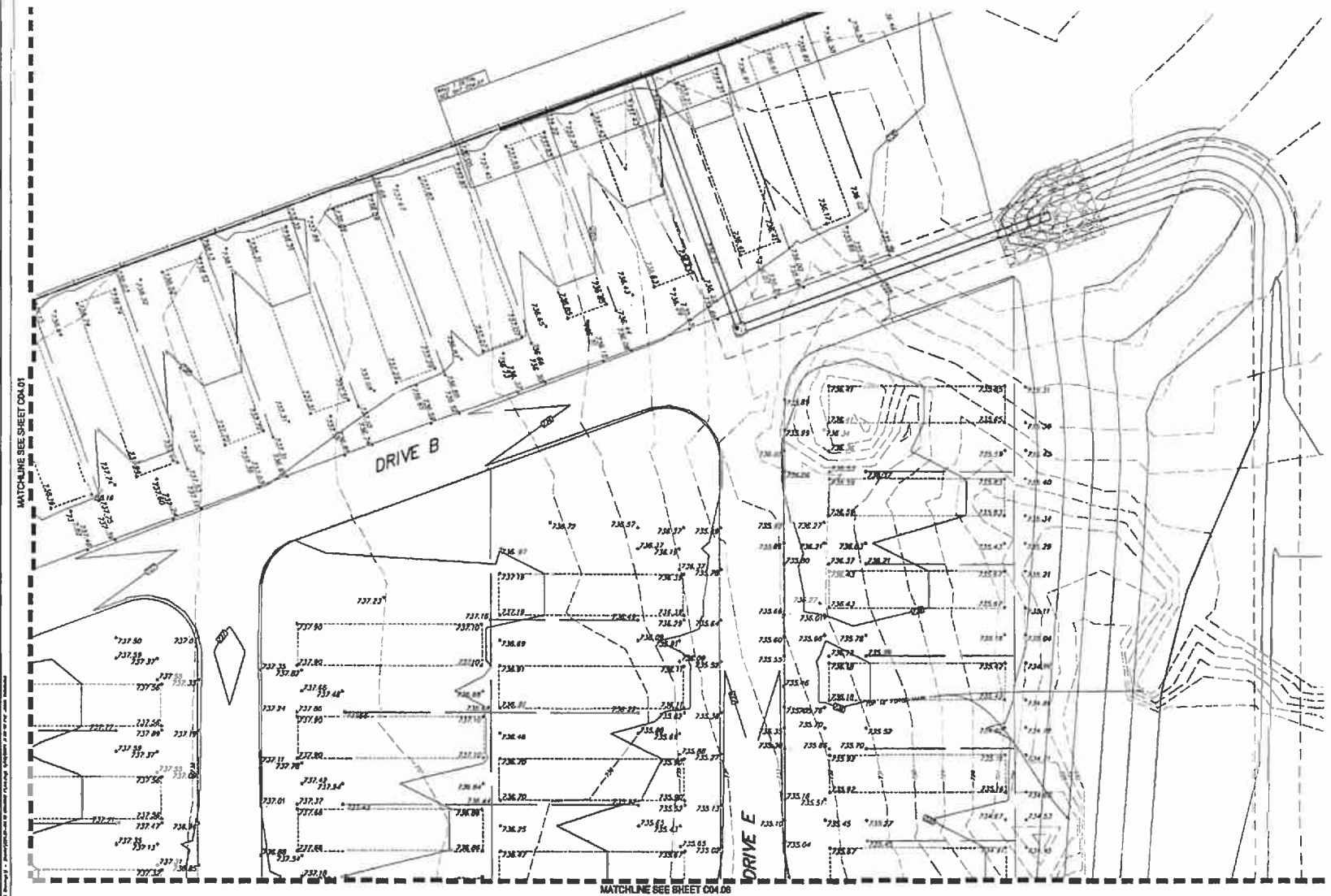
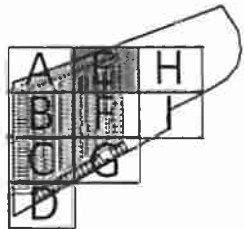
**REVISIONS:**  
 1. Plan Prep. by RLG Surveying Co.  
 A. 7/28/2024  
 B. 7/28/2024  
 C. 7/28/24  
 2. Plan Review  
 A. 8/20/2024  
 B. 8/20/24

REVISED	BY	DATE	FILE	NUMBER	SHEET
RLG	RLG	8/18/2024	2223	007	C04_04



**LEGEND**

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAVEMENT SAWCUT



MATCHLINE SEE SHEET C04.01

MATCHLINE SEE SHEET C04.06

**RLG CONSULTING ENGINEERS**  
 1200 W. CENTRAL EXPRESSWAY SUITE 200 DALLAS, TX 75202  
 803 W. VICKERY BOULEVARD SUITE 200 FORT WORTH, TX 76104  
 WWW.RLGCE.COM TOPG GDM REG. F-402

**GRADING PLAN - SECTION E**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.L.O.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.05



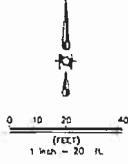
**REVISIONS**  
 1. Per Dept. of Civil Surveying On 4/18/2024  
 2. 2/20/2024  
 3. 2/20/24  
 4. 2/20/24

MATCHLINE SEE SHEET C04.05

MATCHLINE SEE SHEET C04.07

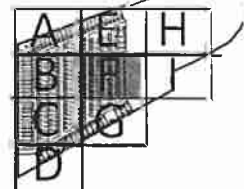
DRIVE D

DRIVE E



LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- UNITS OF PAVEMENT SAWCUT



**RLG CONSULTING ENGINEERS**  
 1200 W. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243  
 852 W. WICKERY BOULEVARD #100 FORT WORTH, TX 76104  
 WWW.RLGCONG.COM TDD & FAX REG. 7-463

**GRADING PLAN - SECTION F**

**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

REVISION	DRAWN	DATE	P.L.R.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.06



RECORDS  
 1. Two Sets of 20% Surveying Data  
 A. 1/18/2024  
 B. 2/20/2024  
 C. 3/20/2024  
 D. 4/18/2024

2. One Set in Payment  
 A. 1/18/2024  
 B. 2/20/2024  
 C. 3/20/2024  
 D. 4/18/2024

4/18/24

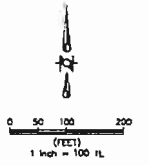




MAJ HOLDINGS  
CALLED 185.059 ACRES  
DOC. NO. 2021-5459

OS-B2  
13.66 AC

OS-B1  
20.09 AC



OS-A  
1.50 AC

B  
32.50 AC

A  
9.63 AC

EFFECTIVE FEMA FLOODPLAIN PER FIRM PANEL 4825102885U  
EFFECTIVE DECEMBER 4, 2012

CITY OF CLEBURNE, TEXAS  
CALLED 75,000 ACRES  
BOOK 2215 PAGE 0593

- LEGEND
- EXISTING CONTOUR LINE
  - PROPOSED CONTOUR LINE
  - FLOW ARROW
  - DRAINAGE DITCH LINE
  - AS  
○ B,C
  - DRAINAGE AREA NUMBER
  - DRAINAGE AREA (ACRES)
  - DRAINAGE DESIGN P.I.

COMPOSITE 'C' CALCULATIONS

% IMP	C <sub>1</sub>	% PERV	C <sub>2</sub>	C
43%	0.00	57%	0.30	0.88
0%	0.00	100%	0.30	0.30
3%	0.90	97%	0.30	0.33
0%	0.00	100%	0.30	0.30
0%	0.00	100%	0.30	0.30

EXISTING DRAINAGE AREA CALCULATIONS

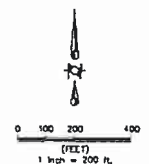
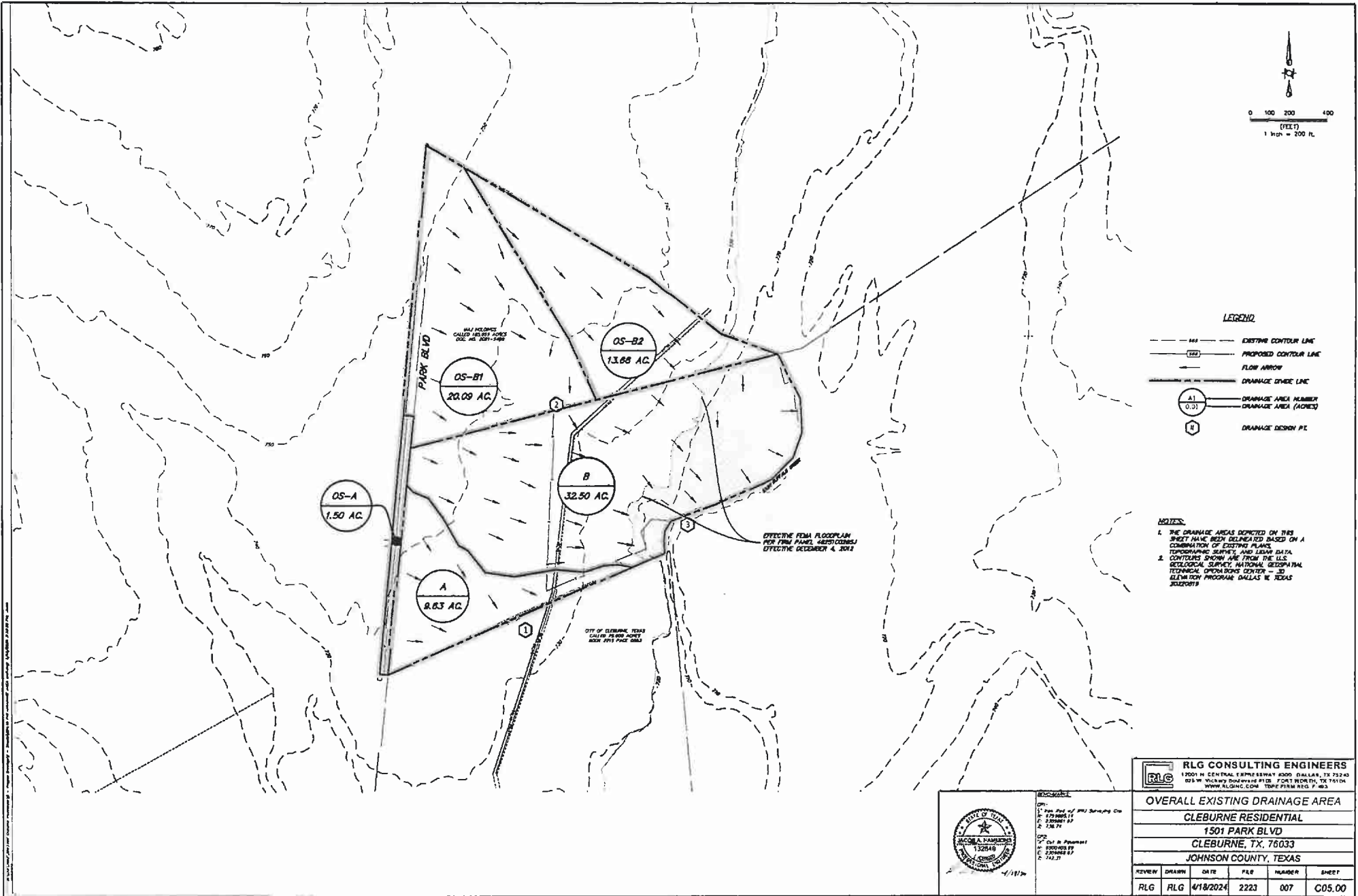
ID	Area (AC)	T <sub>1</sub> (min)	C	I <sub>1</sub> (in/hr)	Q <sub>1</sub> (cfs)	I <sub>2</sub> (in/hr)	Q <sub>2</sub> (cfs)	I <sub>3</sub> (in/hr)	Q <sub>3</sub> (cfs)	I <sub>4</sub> (in/hr)	Q <sub>4</sub> (cfs)	I <sub>5</sub> (in/hr)	Q <sub>5</sub> (cfs)	I <sub>6</sub> (in/hr)	Q <sub>6</sub> (cfs)	I <sub>7</sub> (in/hr)	Q <sub>7</sub> (cfs)	COMMENTS
OS-A	1.50	15	0.58	2.24	2.72	2.82	3.32	4.90	4.90	4.98	8.72	5.84	7.55	6.25	6.48	7.12		Pump P-1
A	9.63	15	0.30	2.24	13.28	2.82	11.68	2.88	13.87	6.98	16.38	8.72	19.41	7.98	21.84	6.48	24.88	
OS-B1	20.09	15	0.30	2.24	12.68	2.82	14.38	4.00	17.38	3.68	20.98	8.72	26.08	7.98	36.98	6.48	41.88	Churns W/PT
OS-B2	13.66	20	0.50	2.91	18.72	3.42	32.52	2.31	18.22	5.88	32.52	8.00	36.74	6.78	42.80	7.81	48.80	Design Point 2
OS-B3	13.66	20	0.30	2.91	11.94	3.42	14.30	4.31	17.60	3.00	20.37	8.00	24.70	6.78	27.81	7.81	31.17	
B	32.50	15	0.30	2.24	31.69	1.83	37.84	4.80	48.80	6.00	64.00	8.72	68.02	7.98	73.71	6.48	82.88	
TOTAL	64.28	22	0.21	2.78	64.72	3.22	64.58	4.71	83.32	7.71	97.09	5.75	118.88	6.41	131.34	7.51	147.78	



**RLG CONSULTING ENGINEERS**  
12001 N. CENTRAL EXPRESSWAY SUITE 4000 DALLAS, TX 75243  
858 W. WALSH BOULEVARD SUITE 100 FORT WORTH, TX 76104  
www.rlgcc.com TEL: 972.382.7400

**EXISTING DRAINAGE AREA**  
**CLEBURNE RESIDENTIAL**  
1501 PARK BLVD  
CLEBURNE, TX, 76033  
JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.L.S.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.01



**LEGEND**

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- FLOW ARROW
- DRAINAGE DITCH LINE
- (A) DRAINAGE AREA NUMBER  
0.31
- (R) DRAINAGE DESIGN P.I.

**NOTES**

1. THE DRAINAGE AREAS DEPICTED ON THIS SHEET HAVE BEEN DETERMINED BASED ON A COMBINATION OF EXISTING PLANS, TOPOGRAPHIC SURVEY, AND LEGAL DATA.
2. CONTOURS SHOWN ARE FROM THE U.S. GEOLOGICAL SURVEY, NATIONAL GEOSPATIAL TECHNICAL INFORMATION CENTER -- 30 ALLEN RYAN PROGRAM DALLAS TX TEXAS 75209

EFFECTIVE FEMA FLOODPLAIN PER FIRM PANEL 482030001 EFFECTIVE DECEMBER 4, 2012

CITY OF CLEBURNE, TEXAS  
CALL FOR COPY BOOKS  
BOOK 1913 PAGE 2463

**RLG CONSULTING ENGINEERS**  
12001 N CENTRAL EXPRESSWAY SUITE 2000 DALLAS, TX 75243  
801 W. WILKINS BOULEVARD STE. 2001 WORTH, TX 76181  
WWW.RLGINC.COM TEL: 972.718.1100

**OVERALL EXISTING DRAINAGE AREA**  
**CLEBURNE RESIDENTIAL**  
1501 PARK BLVD  
CLEBURNE, TX, 76033  
JOHNSON COUNTY, TEXAS



**REVISIONS**

NO.	DATE	DESCRIPTION
1	1/1/17	1. Per Plan of RLG Consulting Co
2	1/1/17	2. 13.68 AC
3	1/1/17	3. 13.68 AC

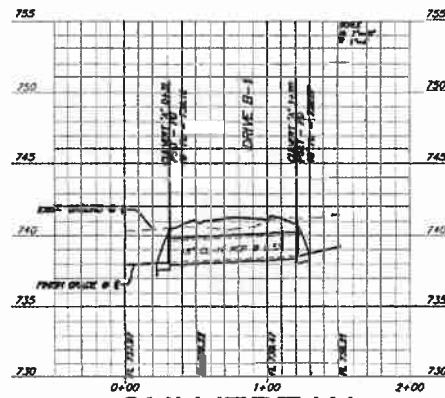
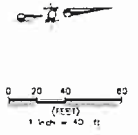
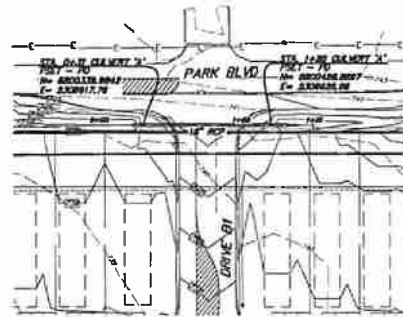
J.A. Hammons  
 P.E.  
 132846  
 1/1/17

REVIEW	DRAWN	DATE	P.L.O.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.00









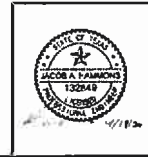
**CULVERT 'A'**

**LEGEND**

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

**RLG CONSULTING ENGINEERS**  
 12001 W. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243  
 851 W. WICKERY BOULEVARD #102 FORT WORTH, TX 76104  
 WWW.RLGC.COM TEXAS P.E. REG. # 2653

**CULVERT 'A' PLAN & PROFILE**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS



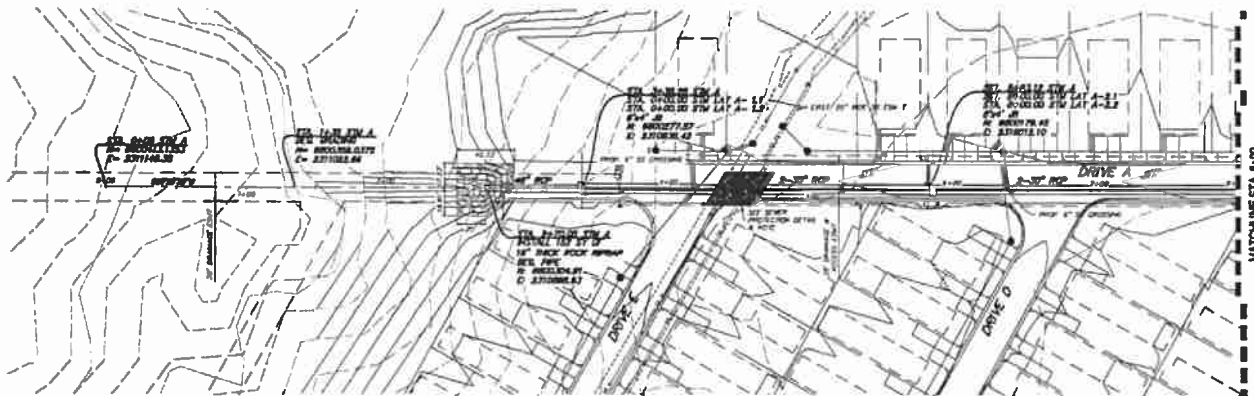
**REVISIONS**

NO.	DATE	DESCRIPTION
1	01/18/2024	ISSUED FOR PERMITS

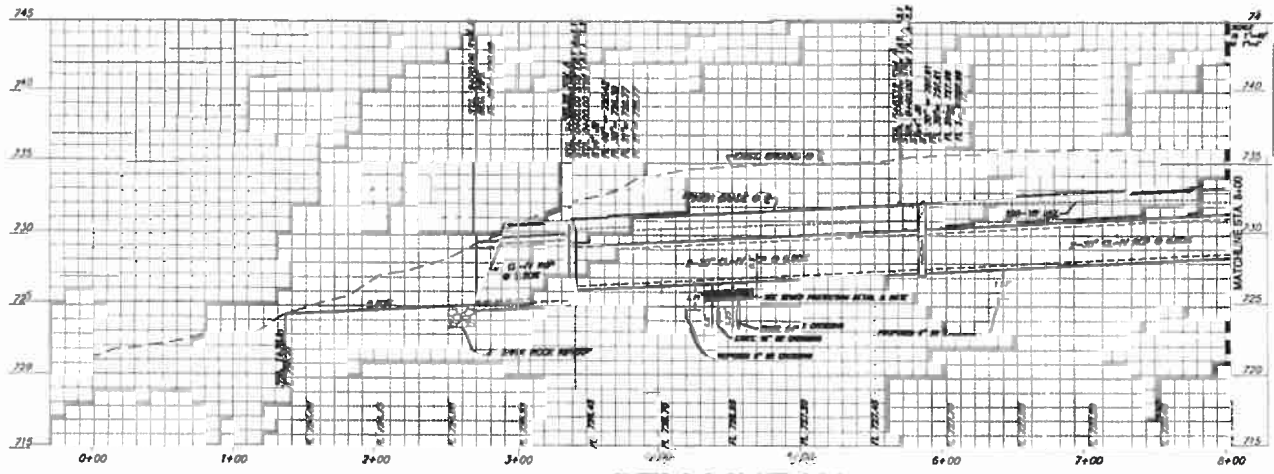
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	005_04

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**SEWER PROTECTION NOTE**  
 INSTALL 6" BACK CAP OF CONTROLLED LOW STRENGTH MATERIAL (FLOPPABLE FILL) OF 300 PSI STRENGTH MEASURED AT 28 DAYS



STM LINE 'A'

**LEGEND**

XXXXXXXXXX	EXISTING STORM SEWER
-----	PROPOSED STORM SEWER LINE
-----	EXISTING SANITARY SEWER LINE
-----	PROPOSED SANITARY SEWER LINE
-----	EXISTING WATER LINE
-----	PROPOSED WATER LINE

**RLG CONSULTING ENGINEERS**  
 1200 N. CENTRAL EXPRESSWAY SUITE 1000 DALLAS, TX 75243  
 852 N. VIKING DR. SUITE 1000 FORT WORTH, TX 76104  
 WWW.RLG.COM TOLL FREE 800.777.883

STORM LINE 'A' PLAN & PROFILE (SHEET 1 OF 2)

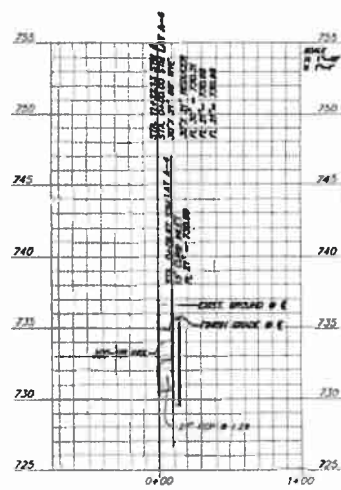
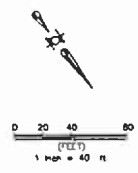
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

REVISION	DATE	BY	NUMBER	SHEET
RLG	4/18/2024	2223	007	C05,05

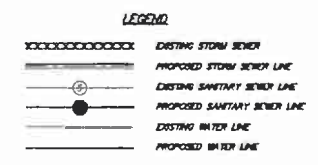


**RECORD**  
 City: Cleburne, TX  
 Project: 1501 Park Blvd Residential Dev  
 Date: 4/18/24  
 Scale: AS SHOWN  
 Drawn by: J. Langford  
 Checked by: J. Langford  
 Date: 4/18/24





**STM L A-4**



**RLG CONSULTING ENGINEERS**  
 1901 N. CENTRAL EXPRESSWAY 2000 DALLAS, TX 75245  
 821 W. VICKERS BOULEVARD #100 FORT WORTH, TX 76104  
 WWW.RLGINC.COM TSP# FIRM REG. 7-493

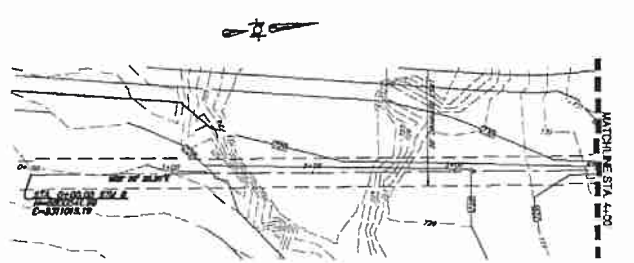
**REVISIONS**

NO.	DATE	DESCRIPTION
1	4/18/2024	ISSUE FOR PERMITS

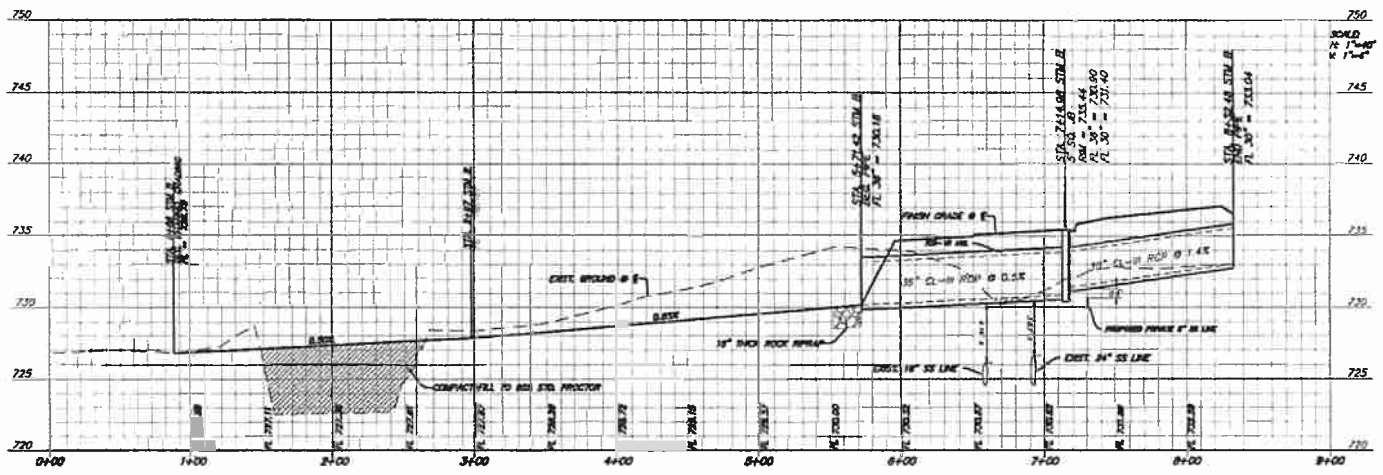
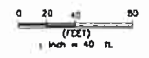
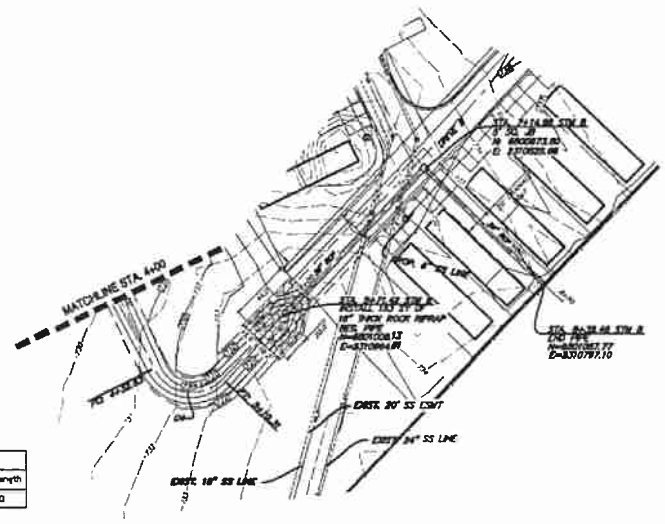


<b>STORM LATERAL 'A-4' PLAN &amp; PROFILE</b>					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.09





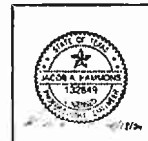
Curve Table Alignment							
Curve #	Start Sta.	End Sta.	Radius	Delta	Length	Chord Direction	Chord Length
CA	4+52.63	5+10.31	30,000	110.13°	57.08	RWP 14° 10.30"W	48.20



- LEGEND**
- EXISTING STORM SEWER
  - PROPOSED STORM SEWER LINE
  - EXISTING SANITARY SEWER LINE
  - PROPOSED SANITARY SEWER LINE
  - EXISTING WATER LINE
  - PROPOSED WATER LINE

**RLG CONSULTING ENGINEERS**  
 1500 N. CENTRAL EXPRESSWAY SUITE 2000 DALLAS, TX 75204  
 972.351.1000 FAX 972.351.1001  
 WWW.RLGCONS.COM TEXAS REG. NO. P-403

**PROJECT**  
**STORM LINE B PLAN & PROFILE**  
**CLEBURNE RESIDENTIAL**  
**1501 PARK BLVD**  
**CLEBURNE, TX, 76033**  
**JOHNSON COUNTY, TEXAS**



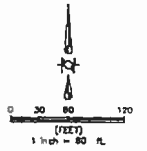
**REVISIONS**

REV. 1: Per Rev. of City Surveyor On 10/18/2024  
 P. 12046117  
 2: 7/26/24

REV. 2: Set A Permit on 8/16/2024 by P. 12046117  
 2: 7/27/24

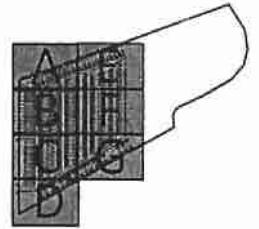
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	CO5.10

MAJ HOLDINGS  
CALLED 185,059 ACRES  
DGC NO. 2021-5459



**LEGEND**

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE



CITY OF CLEBURNE, TEXAS  
CALLED 75,000 ACRES  
BOOK 2215 PAGE 0593



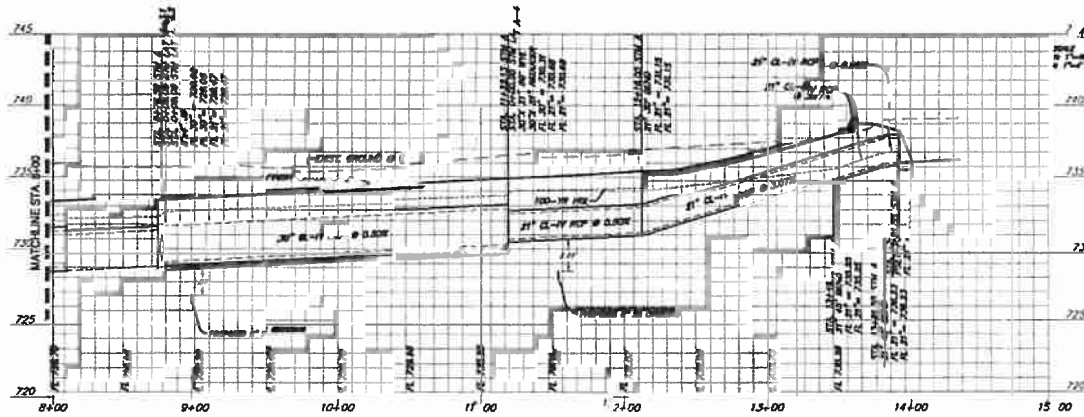
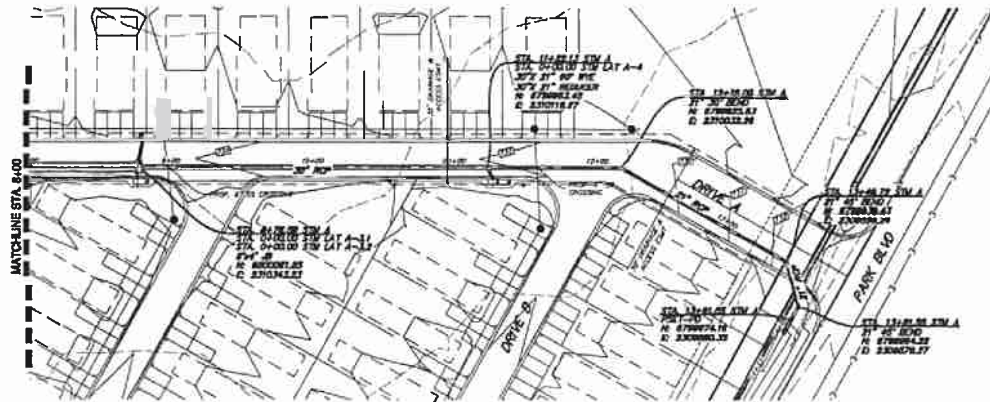
PROJECT  
1. Park Blvd. of 1900 Servicing Co.  
2. 12345678  
3. 12345678  
4. 12345678  
5. 12345678  
6. 12345678  
7. 12345678  
8. 12345678  
9. 12345678  
10. 12345678

**RLG CONSULTING ENGINEERS**  
12001 W. CENTRAL EXPRESSWAY SUITE 800 DALLAS, TX 75243  
855 W. WILKINSON BOULEVARD SUITE 400 FORT WORTH, TX 76104  
WWW.RLG-ENG.COM TYPED FIRM SEAL P-603

**OVERALL SEWER PLAN**  
**CLEBURNE RESIDENTIAL**  
**1501 PARK BLVD**  
**CLEBURNE, TX, 76033**  
**JOHNSON COUNTY, TEXAS**

REVIEW	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007 C06.00





**LEGEND**

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

**STM LINE 'A'**

**RLG CONSULTING ENGINEERS**  
 12001 W. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243  
 825 W. HARBURY BOULEVARD #102 FORT WORTH, TX 76104  
 WWW.RLGINS.COM TDFE FIRM REG. P-463

**STORM LINE 'A' PLAN & PROFILE (SHEET 2 OF 2)**

**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.R.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05,06

**REVISIONS**

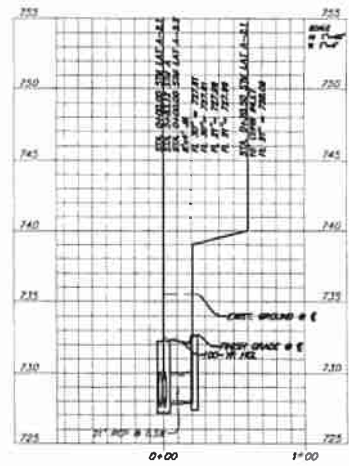
REV. 1: 1/18/24  
 BY: [Signature]  
 FOR: [Signature]

R:\Projects\2024\Cleburne Residential\1501 Park Blvd\1501 Park Blvd - Storm Line A.dwg

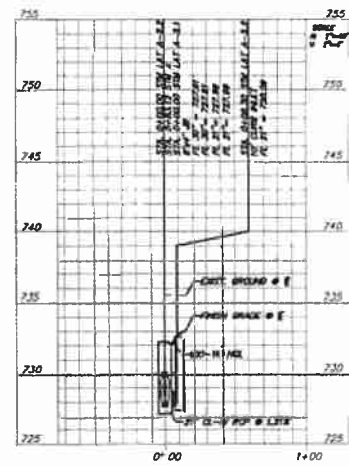




0 20 40 80  
 (FEET)  
 1 inch = 40 ft.



STM LAT A-2.1



STM LAT A-2.2

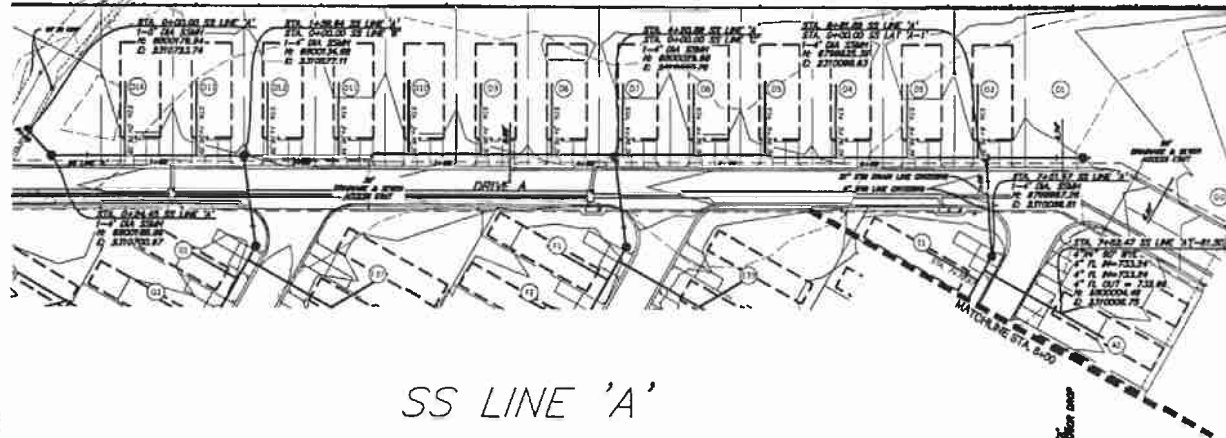
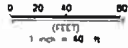
**LEGEND**

	EXISTING STORM SEWER
	PROPOSED STORM SEWER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE

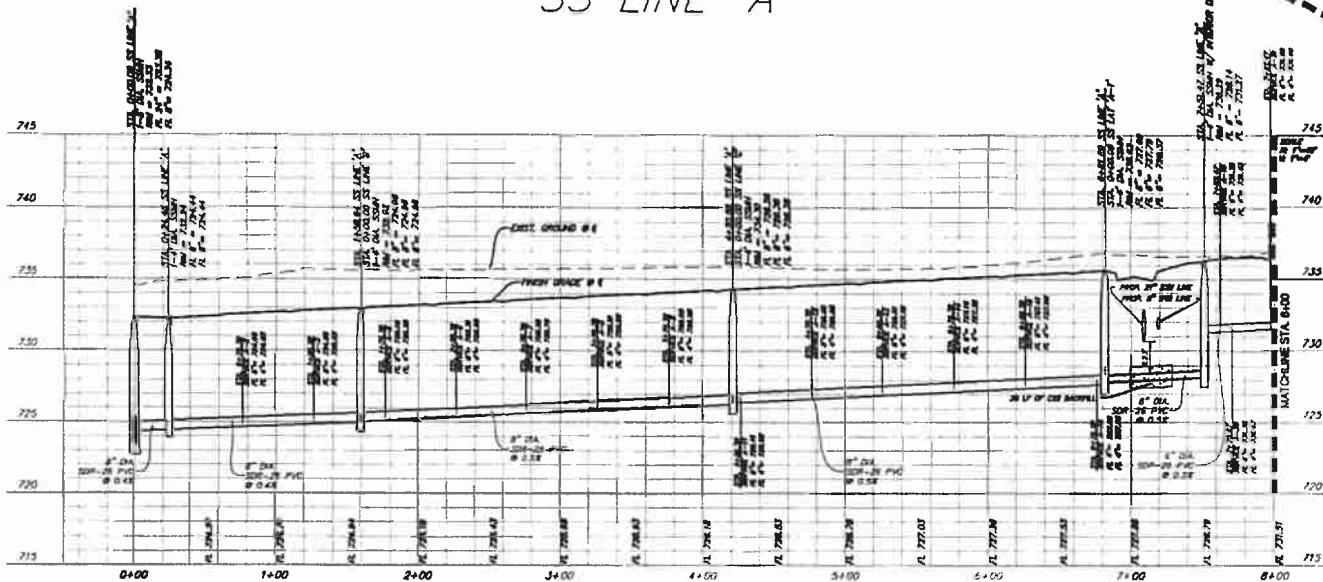
**RLG CONSULTING ENGINEERS**  
 1501 W. CENTRAL EXPRESSWAY #200 DALLAS, TX 75202  
 825 W. Volney Road Suite 1100, FORT WORTH, TX 76104  
 WWW.RLG.COM TOLL FREE 1-800-451-7403

**Professional Engineer Seal**  
 State of Texas  
 License No. 132649  
 Jason A. Sanchez  
 Civil Engineer

<b>STORM LATERALS 'A-2' PLAN &amp; PROFILE</b>					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REV#	DATE	BY	CHKD	NO.	SHEET
RLG	RLG	4/18/2024	2223	007	C05.07



SS LINE 'A'



LEGEND

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

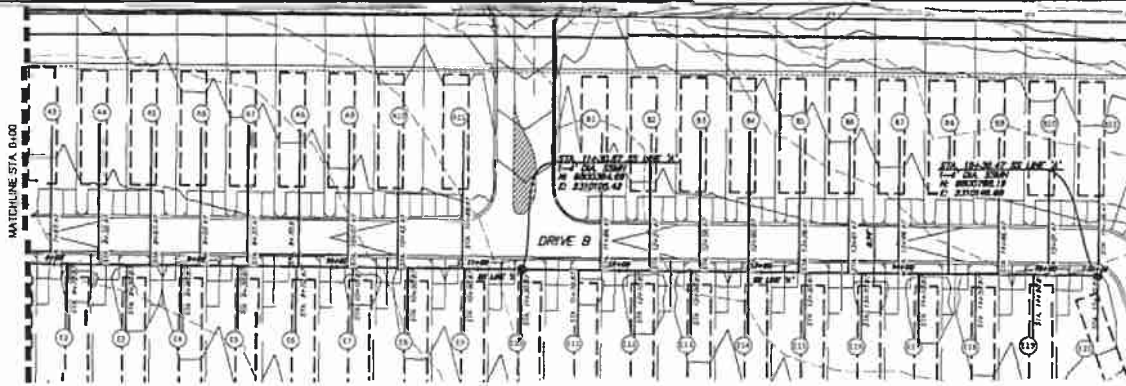
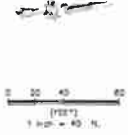
<b>RLG CONSULTING ENGINEERS</b>				
12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243 105 W. THURGOOD LAWRENCE BLVD. FORT WORTH, TX 76104 WWW.RLG-ENG.COM TEL: 817.342.7400				
SEWER LINE 'A' PLAN AND PROFILE (SHEET 1 OF 2)				
CLEBURNE RESIDENTIAL				
1501 PARK BLVD				
CLEBURNE, TX, 76033				
JOHNSON COUNTY, TEXAS				
REVISED BY	DATE	FILE	REASON	SHEET
RLG	4/18/2024	2223	007	005.01



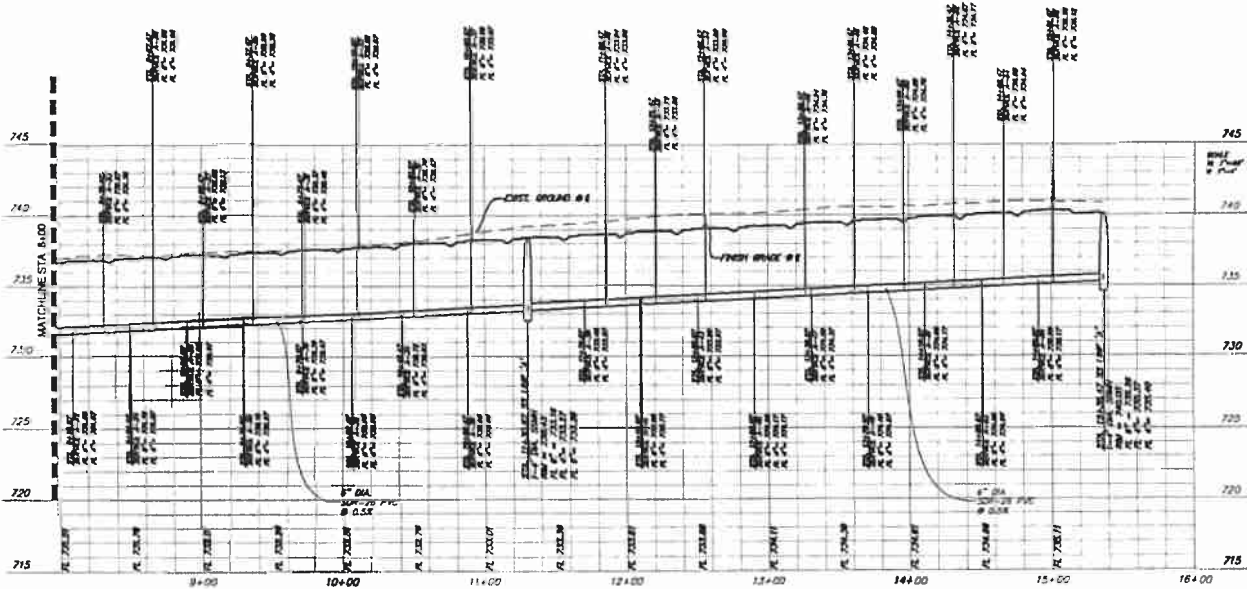
**REVISIONS**

001: 12' Dia. of PVI Surveying Co.  
 1: 7/28/2023  
 2: 7/28/24

002: 12' Dia. of PVI Surveying Co.  
 1: 7/28/24



SS LINE 'A'



**LEGEND**

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE



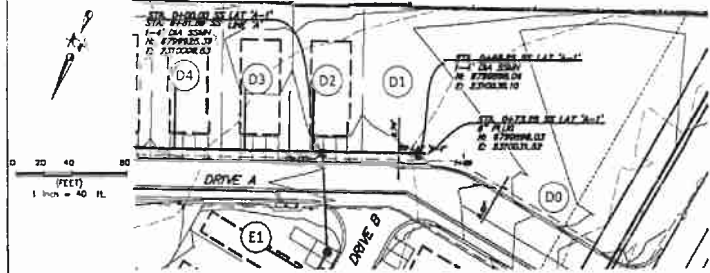
**MODIFICATIONS**  
 1. per sheet of 09/16/2024  
 2. 11/15/2024  
 3. 11/15/2024  
 4. 11/15/2024  
 5. 11/15/2024

**RLG CONSULTING ENGINEERS**  
 12001 N CENTRAL EXPRESSWAY SUITE 400 DALLAS, TX 75243  
 1025 W. WILSON ROAD SUITE 1100 FORT WORTH, TX 76104  
 WWW.RLGCONS.COM TOLL FREE 800-345-2424

**SEWER LINE 'A' PLAN AND PROFILE**  
 (SHEET 2 OF 2)  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

REVIEW	DATE	FILE	NUMBER	SHEET
RLG	4/18/2024	2223	007	C08.02

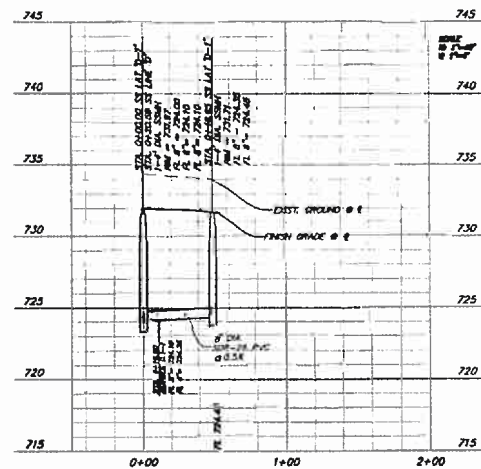
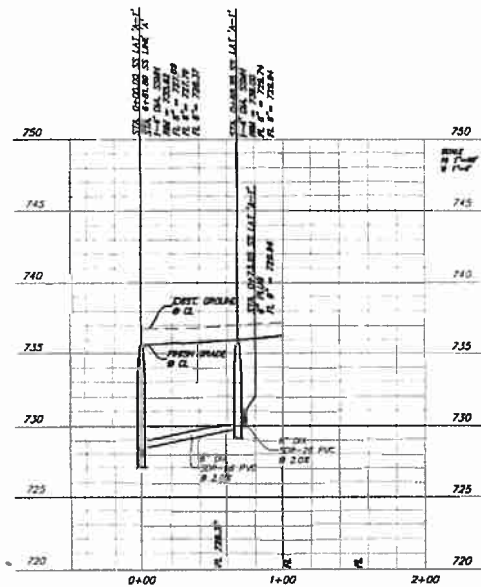




SS LAT 'A-1'



SS LAT 'D-1'



LEGEND

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

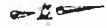
**RLG CONSULTING ENGINEERS**  
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243  
 825 W. WALSHY DR. FORT WORTH, TX 76104  
 WWW.RLG.COM TEL: 817.339.1100

**SEWER LAT 'A-1 & D-1' PLAN & PROFILE**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

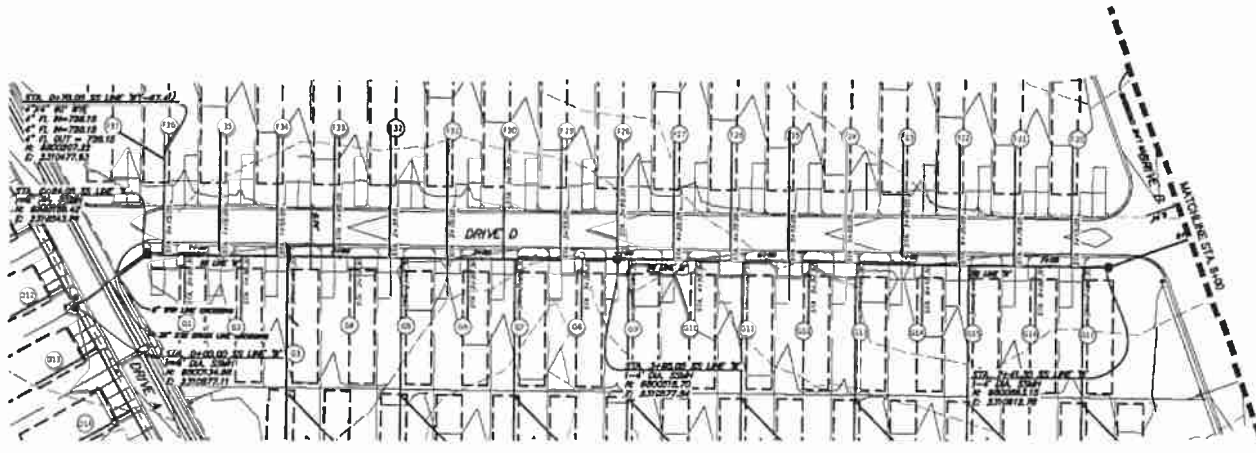
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C08.03



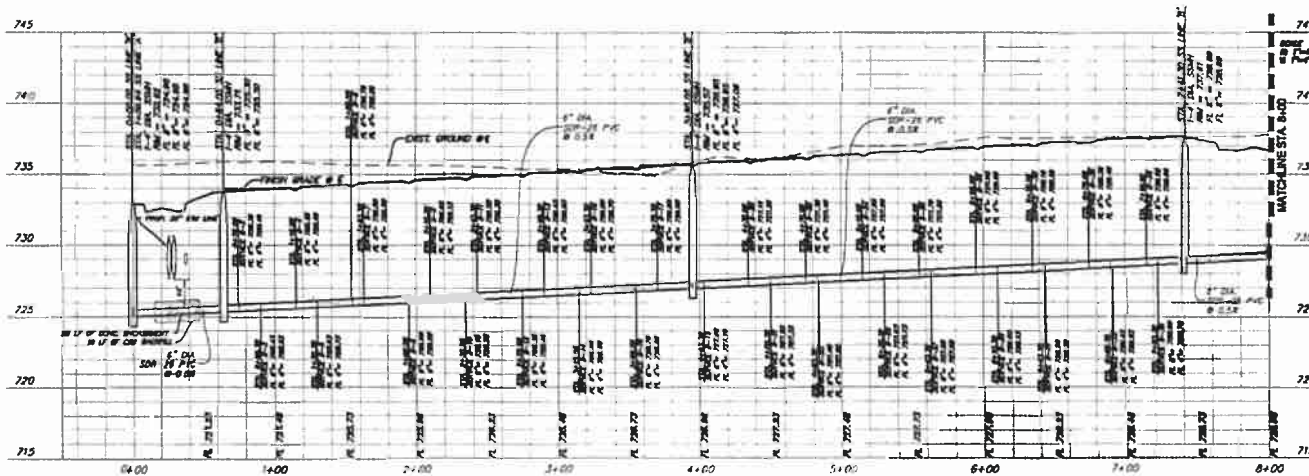
DATE: 4/18/24  
 DRAWN BY: RLG  
 CHECKED BY: RLG  
 PROJECT: 2223



0 20 40 80  
 (FEET)  
 1 inch = 40 ft



SS LINE 'B'



LEGEND

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

**RLG CONSULTING ENGINEERS**  
 17001 N. CENTRAL EXPRESSWAY, SUITE 4000, DALLAS, TX 75243  
 824 W. VICKSBURY BLVD., SUITE 212, FORT WORTH, TX 76104  
 WWW.RLG-ENG.COM, TOLL FREE 800-746-7460

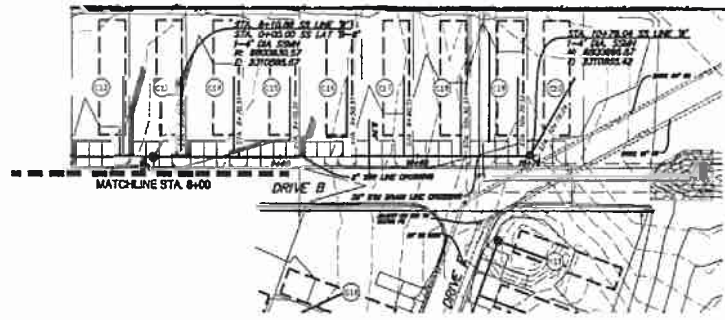
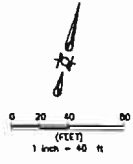
**SEWER LINE 'B' PLAN & PROFILE**  
 (SHEET 1 OF 2)  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS



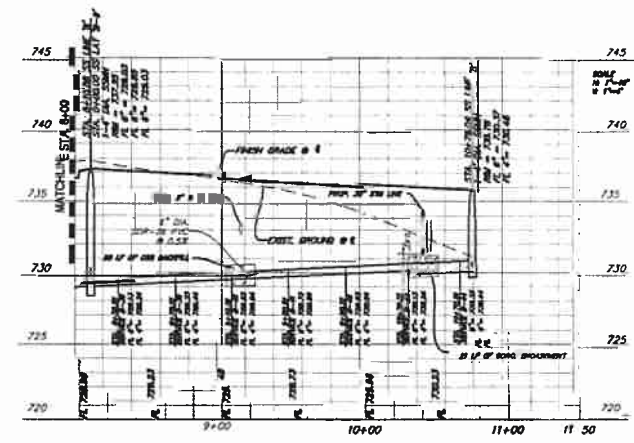
**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/18/24	ISSUED FOR PERMITS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	11/18/2024	2223	007	C05.04



SS LINE 'B'



**LEGEND**

	EXISTING STORM SEWER
	PROPOSED STORM SEWER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE

**RLG CONSULTING ENGINEERS**  
 13001 W. CENTRAL EXPRESSWAY SUITE 2000 DALLAS, TX 75243  
 823 W. VICKERY BOULEVARD SUITE 200 FORT WORTH, TX 76104  
 WWW.RLG-ENG.COM TEL: 972.348.1100 FAX: 972.348.1101

**SEWER LINE 'B' PLAN & PROFILE**  
 (SHEET 2 OF 2)  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

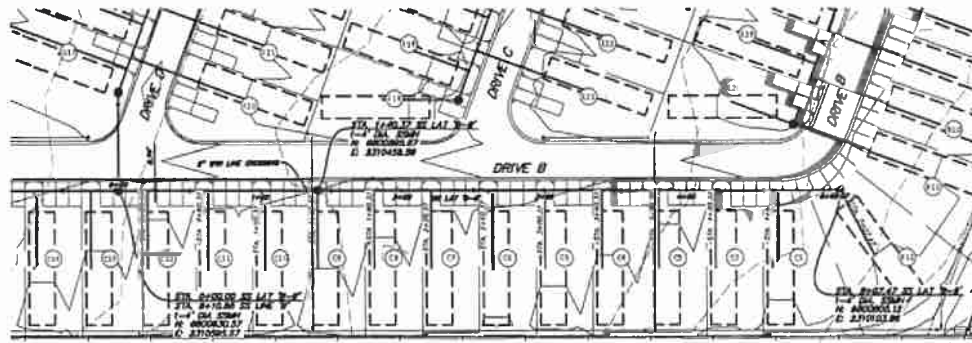
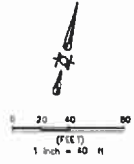


**REVISIONS**

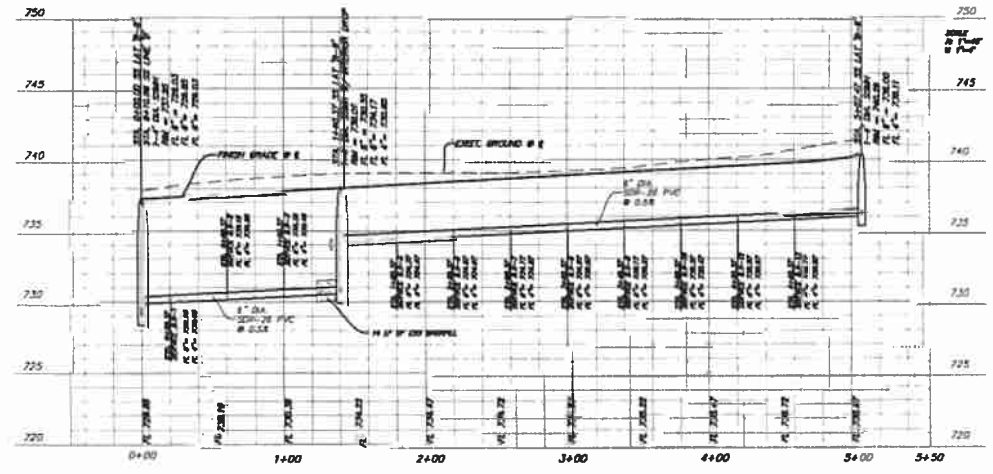
DATE	BY	DESCRIPTION
4/18/2024	RLG	ISSUED FOR PERMIT

NO.	DATE	BY	DESCRIPTION
1	4/18/2024	RLG	ISSUED FOR PERMIT





SS LAT 'B-9'



**LEGEND**

-----	EXISTING STORM SEWER
-----	PROPOSED STORM SEWER
-----	EXISTING SANITARY SEWER LINE
-----	PROPOSED SANITARY SEWER LINE
-----	EXISTING WATER LINE
-----	PROPOSED WATER LINE

**RLG CONSULTING ENGINEERS**  
 12001 N. CENTRAL EXPRESSWAY, SUITE 1000, DALLAS, TX 75243  
 803 W. WICKLIFF ROAD, SUITE 810B, FORT WORTH, TX 76104  
 WWW.RLG-ENG.COM TEL: 972.355.7400

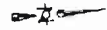
**SEWER LAT 'B-9' PLAN & PROFILE**  
 CLEBURNE RESIDENTIAL  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS



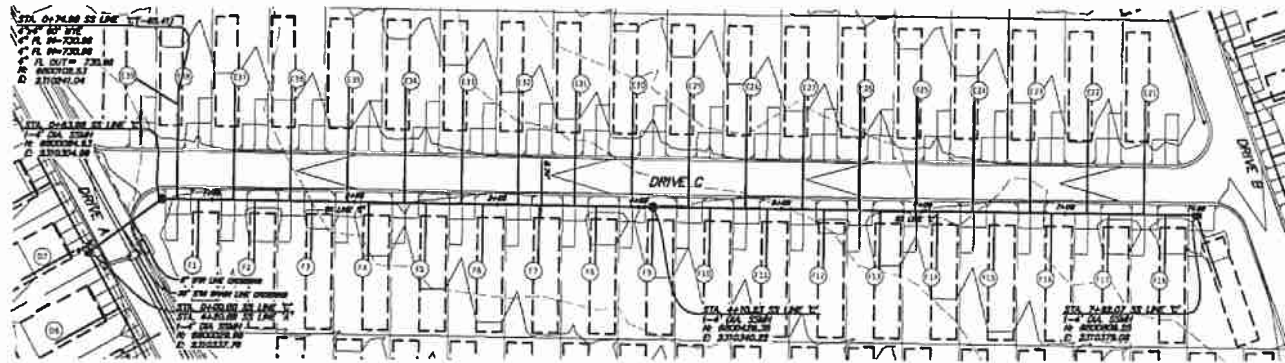
**REVISIONS**

NO.	DATE	DESCRIPTION
1	4/18/2024	ISSUE FOR PERMITS
2	4/18/2024	ISSUE FOR PERMITS
3	4/18/2024	ISSUE FOR PERMITS

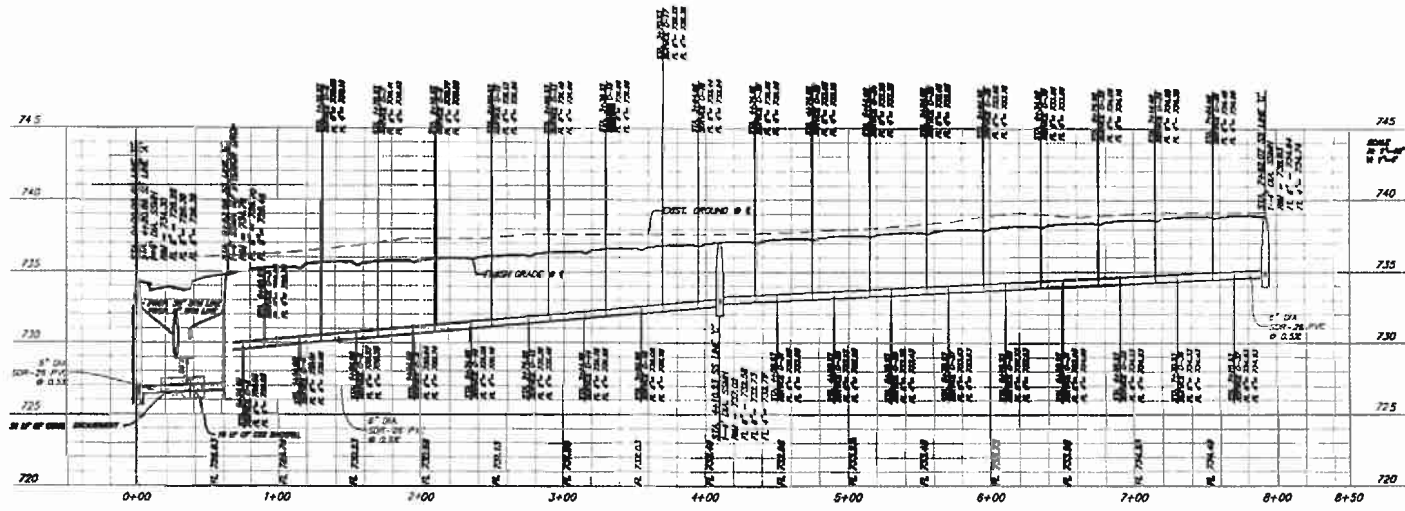
REVISION	DRAWN	DATE	PKG.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.05



0 20 40 80  
 FEET  
 1 inch = 40 ft.



SS LINE 'C'



**LEGEND**

- XXXXXXXXXXXX EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- ⊕ EXISTING SANITARY SEWER LINE
- ⊕ PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

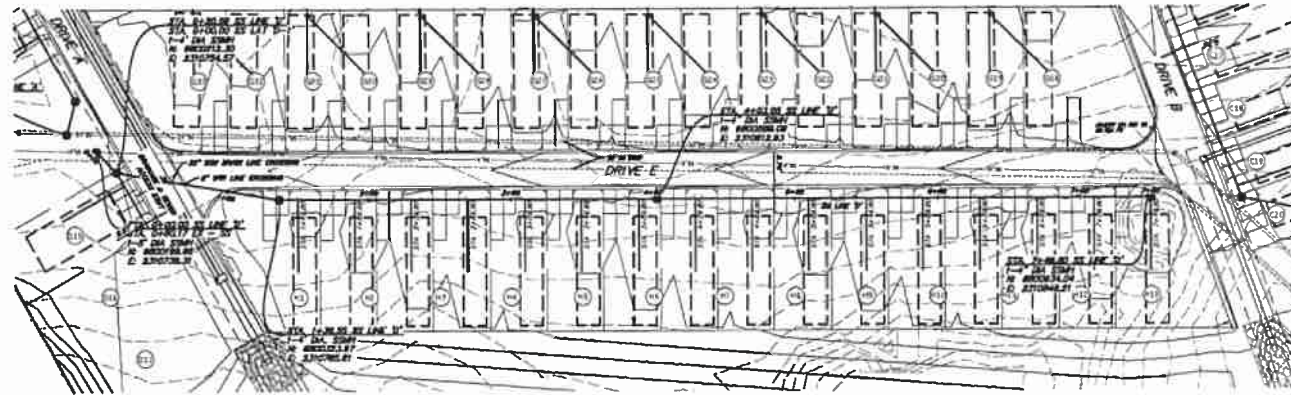
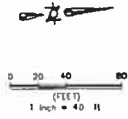
**RLG CONSULTING ENGINEERS**  
 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243  
 885 W. SHILBURN BOULEVARD #100 FORT WORTH, TX 76104  
 WWW.RLG-ENG.COM TFF@RLG-ENG.COM

**SEWER LINE 'C' PLAN & PROFILE**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 76033  
 JOHNSON COUNTY, TEXAS

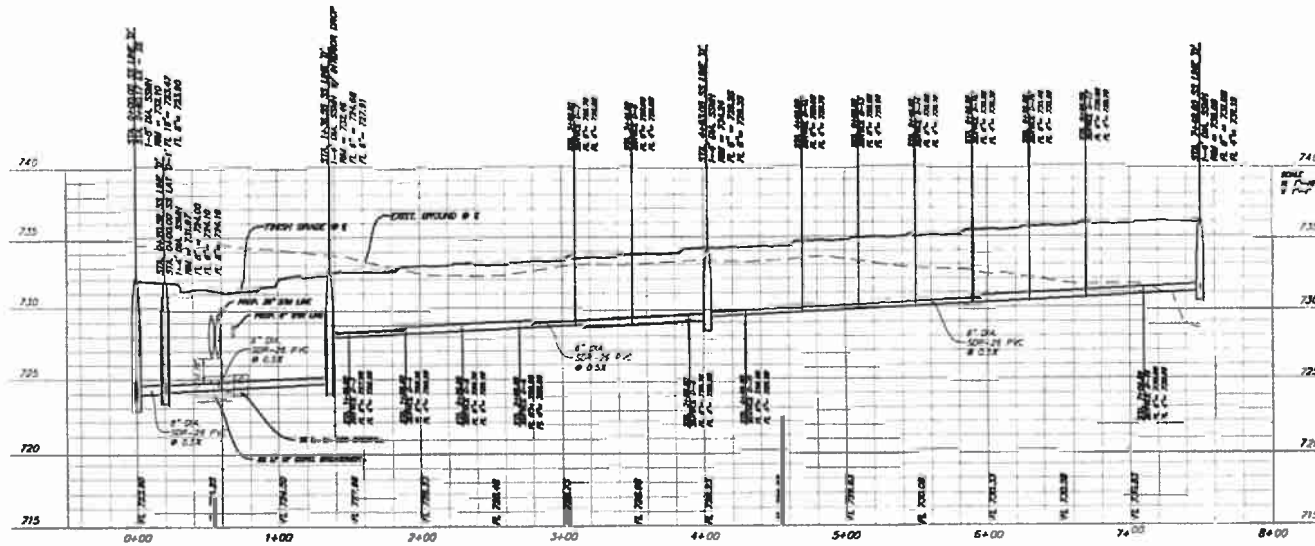
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C08.07



**BLDG/NOVEL**  
 DT: 1/18/2024  
 R: 1/18/2024  
 A: 1/18/2024  
 DT: 1/18/2024  
 R: 1/18/2024  
 A: 1/18/2024



### SS LINE 'D'



#### LEGEND

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

<b>RLG CONSULTING ENGINEERS</b> 12001 N. CENTRAL EXPRESSWAY SUITE DALLAS, TX 75243 805 W. VERNON BOULEVARD #100 FORT WORTH, TX 76104 WWW.RLG-ENGINEERS.COM TOLL FREE 1-800-251-7822					
<b>SEWER LINE 'D' PLAN &amp; PROFILE</b>					
<b>CLEBURNE RESIDENTIAL</b>					
<b>1501 PARK BLVD</b>					
<b>CLEBURNE, TX, 76033</b>					
<b>JOHNSON COUNTY, TEXAS</b>					
REV	DATE	FILE	NUMBER	SHEET	
RLG	RLG	4/18/2024	2223	007	C06.08



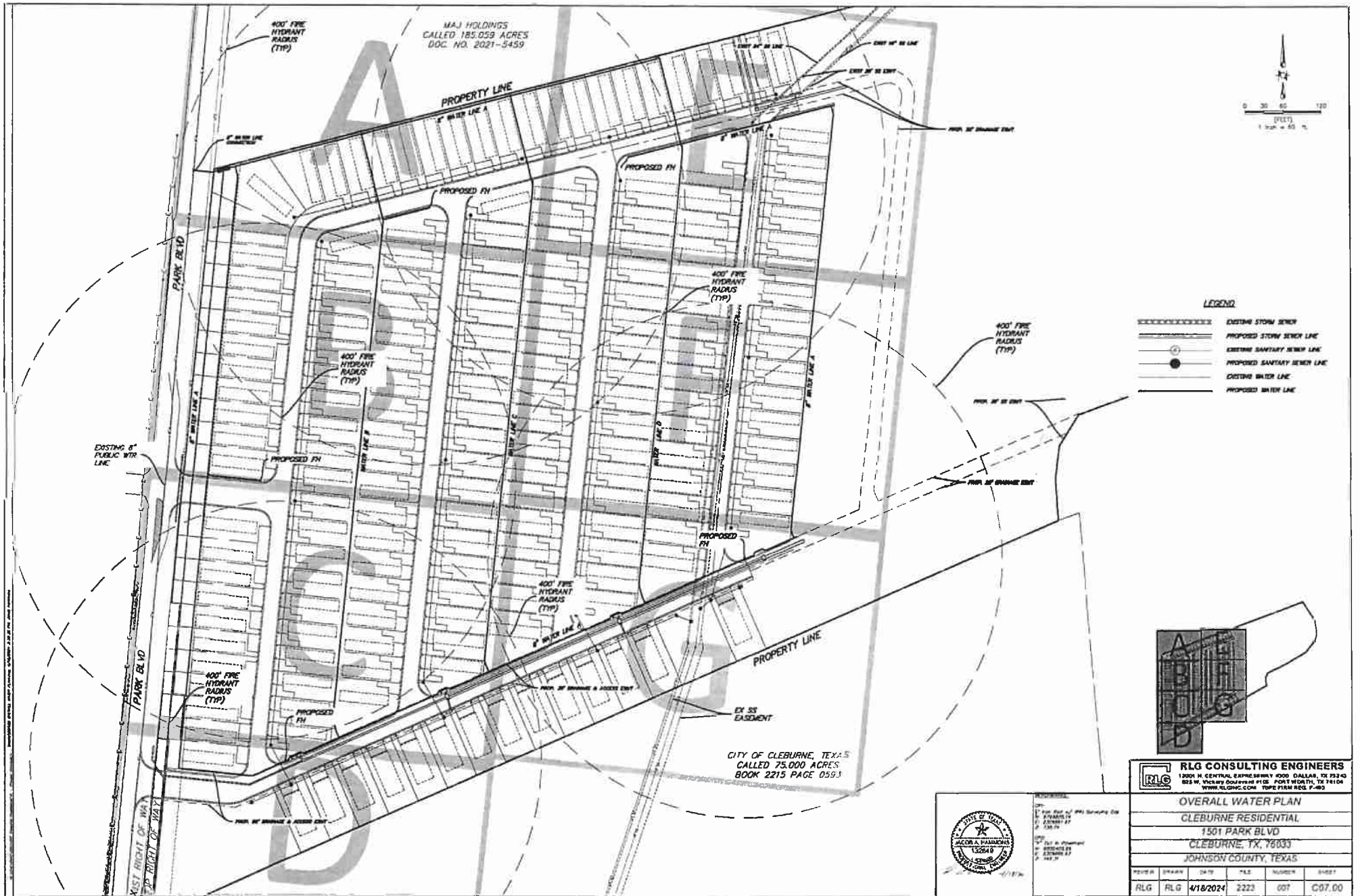
I, the undersigned, do hereby certify that the above is a true and correct copy of the original as shown to me by the engineer.  
 JACOB A. NARAHIS  
 132849  
 STATE OF TEXAS  
 LICENSED PROFESSIONAL ENGINEER  
 CIVIL  
 EXPIRES 12/31/2025



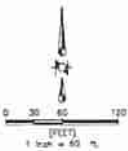




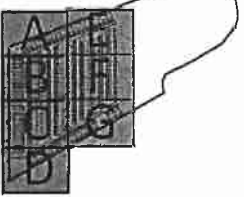




MAJ HOLDINGS  
CALLED 185.059 ACRES  
DOC. NO. 2021-3459



- LEGEND**
- EXISTING STORM SEWER
  - PROPOSED STORM SEWER LINE
  - EXISTING SANITARY SEWER LINE
  - PROPOSED SANITARY SEWER LINE
  - EXISTING WATER LINE
  - PROPOSED WATER LINE



**RLG CONSULTING ENGINEERS**  
1200 N. CENTRAL EXPRESSWAY 4000 DALLAS, TX 75240  
825 W. VICKERY BOULEVARD #102 FORT WORTH, TX 76104  
WWW.RLGCE.COM TWP: FIRM REG. P-493

**OVERALL WATER PLAN**  
CLEBURNE RESIDENTIAL  
1501 PARK BLVD  
CLEBURNE, TX, 76033  
JOHNSON COUNTY, TEXAS

REVISION	DATE	BY	NO.	DESCRIPTION
RLG	4/18/2024	RLG	2222	001 C07.00



CITY OF CLEBURNE, TEXAS  
CALLED 75.000 ACRES  
BOOK 2215 PAGE 059.3





MATCHLINE SEE SHEET C07.03

PARK BLVD

B11  
B10  
B9  
B8  
B7  
B6  
B5  
B4  
B3  
B2  
B1

DRIVE B

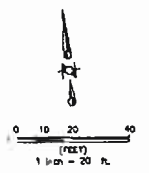
100' RADIUS (C.T.P.)

E20  
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E29  
E30

DRIVE C

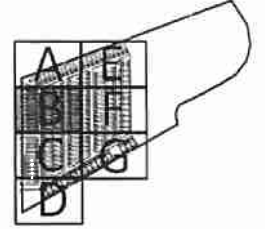
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F8

MATCHLINE SEE SHEET C07.06



LEGEND

- EXISTING STORM SEWER
- ===== PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE



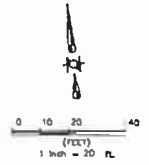
MATCHLINE SEE SHEET C07.03



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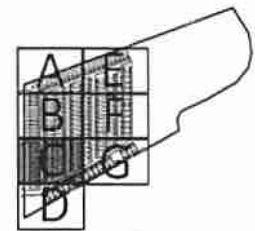
MATCHLINE SEE SHEET C07 02

MATCHLINE SEE SHEET C07 04



**LEGEND**

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING BRICK LINE
- PROPOSED BRICK LINE



**RLG CONSULTING ENGINEERS**  
 1201 W. CENTRAL EXPRESSWAY SUITE 200 DALLAS, TX 75243  
 972.441.1100  
 WWW.RLG-ENG.COM 10% FROM 2015 F-463

**WATER PLAN - SECTION C**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX, 75003  
 JOHNSON COUNTY, TEXAS

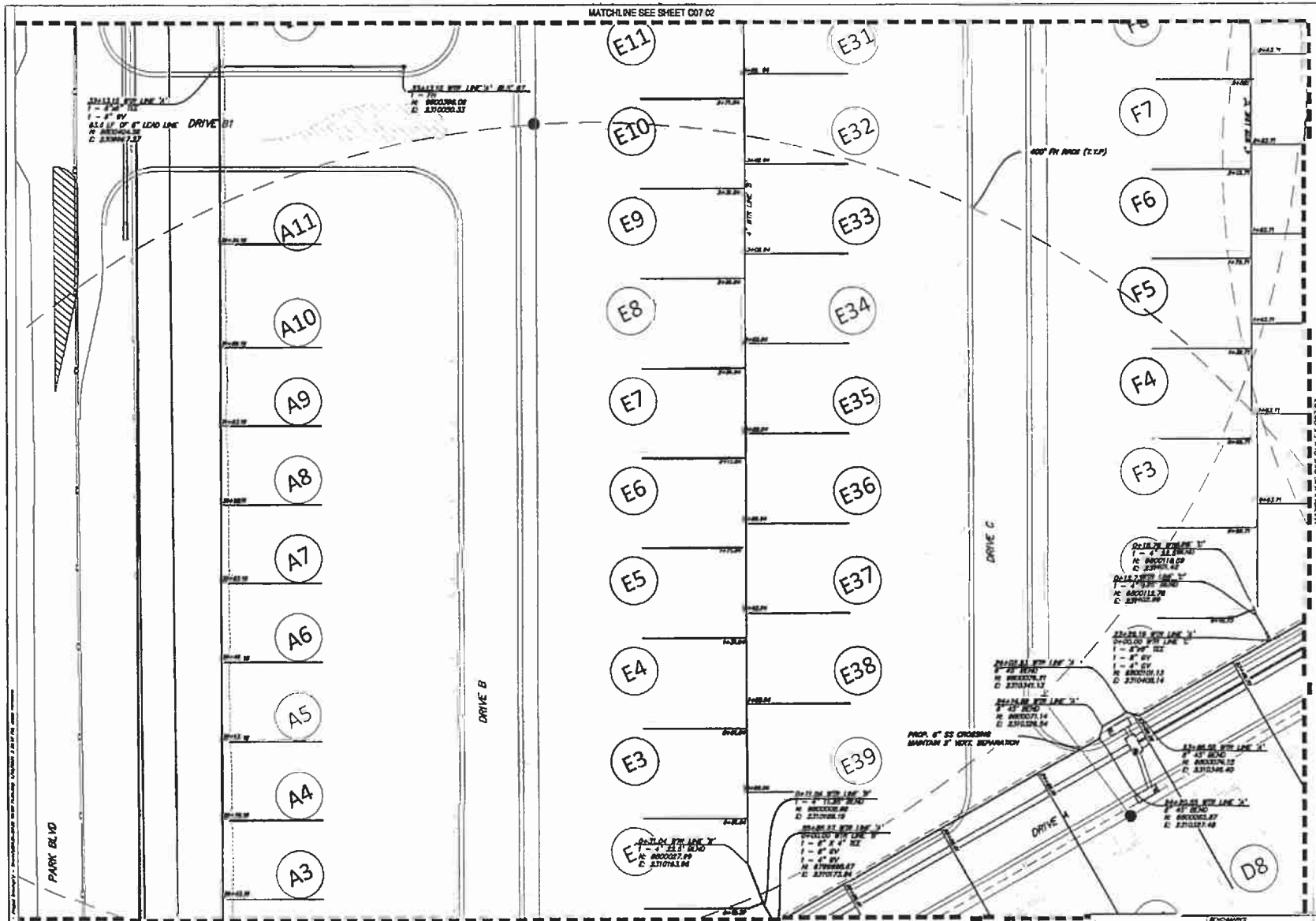
DATE	ISSUE	NO.	REV.	DESCRIPTION	BY
RLG	RLG	4/18/2024	2223	007	C07.03



**REVISIONS**

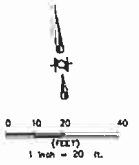
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 2. 4/18/2024  
 3. 2223

2. Per Plan of No. 22222-01  
 3. 4/18/2024  
 4. 2223





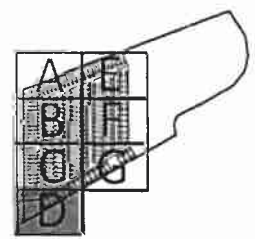
MATCH-LINE SEE SHEET C07.03



**LEGEND**

XXXXXXXXXXXX	EXISTING STORM SEWER
=====	PROPOSED STORM SEWER LINE
-----	EXISTING SANITARY SEWER LINE
-----	PROPOSED SANITARY SEWER LINE
-----	EXISTING WATER LINE
-----	PROPOSED WATER LINE

CITY OF CLEBURNE, TEXAS  
CALLED 75.000 ACRES  
BOOK 2215 PAGE 0593



**REVISIONS**

NO.	DATE	DESCRIPTION
1	4/18/2024	ISSUE FOR PERMITS
2	4/18/2024	ISSUE FOR PERMITS
3	4/18/2024	ISSUE FOR PERMITS

<b>RLG CONSULTING ENGINEERS</b> 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243 833 W. WASKLEY PARKWAY #100 FORT WORTH, TX 76104 WWW.RLGINC.COM TYPED FIRM REG. P.400					
<b>WATER PLAN - SECTION D</b>					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE NUMBER	SHEET	
RLG	RLG	4/18/2024	2223	007	C07.04

EXIST RIGHT OF WAY  
PROP RIGHT OF WAY

D1

D2

D1

D2

D3

D4

D5

D6

D7

E1

PROP. 4" CS CROSSING  
MAINTAIN 2' VERT. SEPARATION

22'-00" R/W LINE 'X'  
1 - 4" 11.5' BOND  
N. 8790876.41  
E. 2310084.73

22'-00" R/W LINE 'X'  
1 - 4" 8.5' BOND  
N. 8790876.41  
E. 2310084.73

20'-00" R/W LINE 'X'  
1 - 4" 8.5' BOND  
N. 8790876.41  
E. 2310084.73

20'-00" R/W LINE 'X'  
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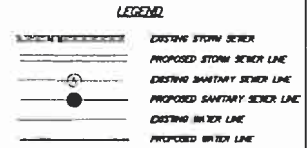
400' R/W ROAD (C.U.P.)



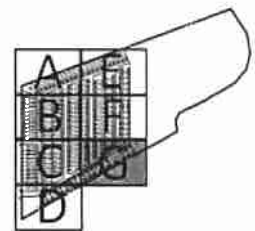




MATCHLINE SEE SHEET C07 D6



CITY OF CLEBURNE, TEXAS  
CALLED 75.000 ACRES  
BOOK 2215 PAGE 0593



**RLG CONSULTING ENGINEERS**  
12001 N. CENTRAL EXPRESSWAY SUITE 4000 DALLAS, TX 75243  
8025 W. Highway 280, Suite 101 DB, FORT WORTH, TX 76104  
WWW.RLG-ENGINEERS.COM TEXAS REG. # 4482

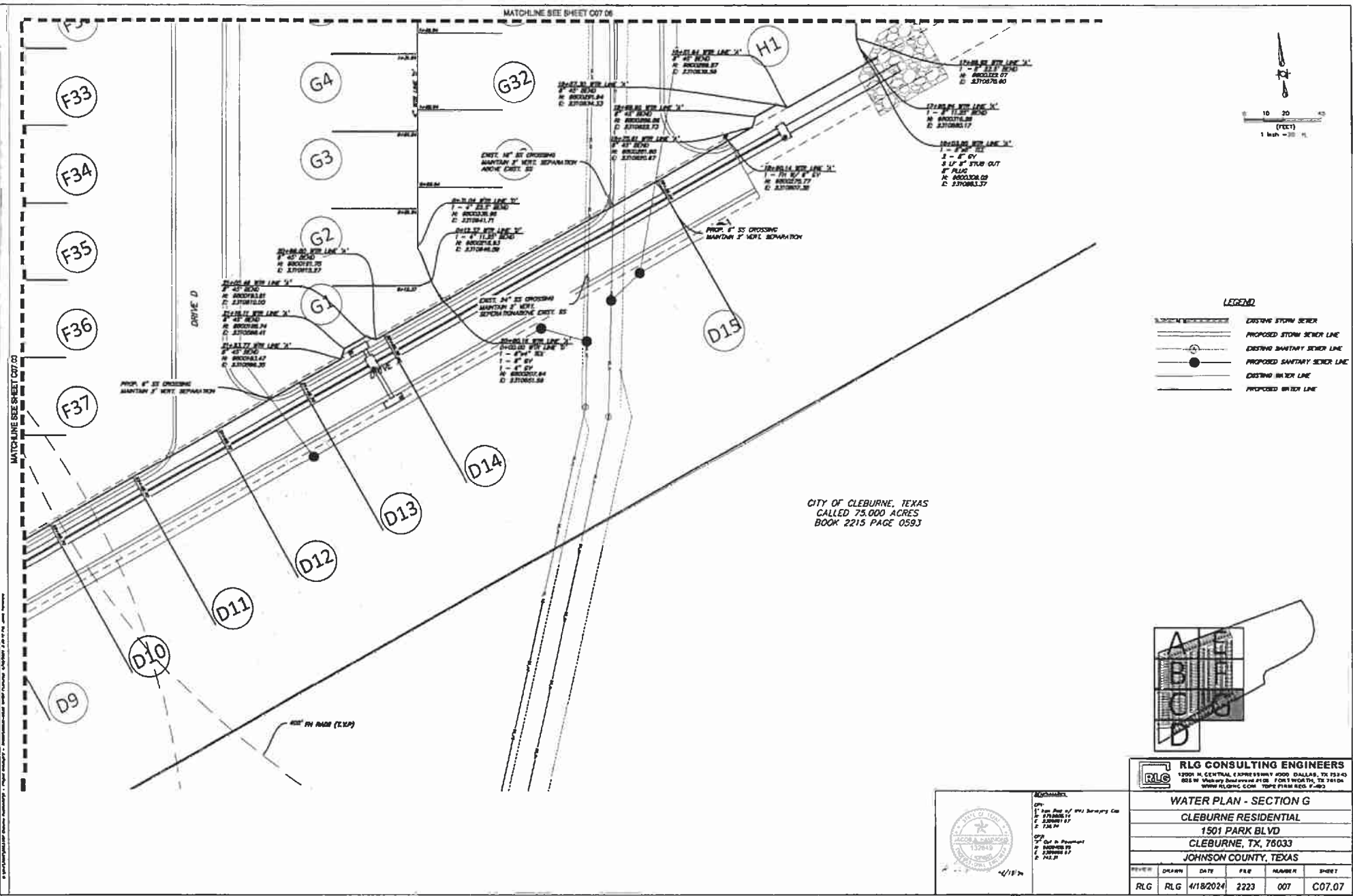
**WATER PLAN - SECTION G**  
CLEBURNE RESIDENTIAL  
1501 PARK BLVD  
CLEBURNE, TX, 76033  
JOHNSON COUNTY, TEXAS

**REVISIONS**

NO.	DATE	DESCRIPTION
01	4/18/24	ISSUE FOR PERMIT

4/18/24

REVISION	DATE	FILE	NUMBER	SHEET
RLG	4/18/2024	2223	007	C07.07



MATCHLINE SEE SHEET C07 C3



BLOCK F

- F7
- F8
- F9
- F10
- F11
- F12
- F13
- F14
- F15
- F16
- F17
- F18
- F19

BLOCK F

- F20
- F21
- F22
- F23
- F24
- F25
- F26
- F27
- F28
- F29
- F30
- F31
- F32

BLOCK F

- F33
- F34
- F35
- F36
- F37

BLOCK G

- G1
- G2
- G3
- G4
- G5
- G6
- G7

BLOCK G

- G8
- G9
- G10
- G11
- G12
- G13
- G14
- G15
- G16
- G17
- G18
- G19
- G20

BLOCK G

- G21
- G22
- G23
- G24
- G25
- G26
- G27
- G28
- G29
- G30
- G31
- G32
- G33

BLOCK H

- H1-A
- H1-B
- H2-A
- H2-B
- H3-A
- H3-B
- H3-C
- H3-D
- H4-A
- H4-B
- H5-A
- H5-B
- H6-A
- H6-B
- H7-A
- H7-B

BLOCK H

- H7-B
- H8-A
- H8-B
- H9-A
- H9-B
- H10-A
- H10-B
- H11-A
- H11-B
- H12-A
- H12-B
- H13-A
- H13-B

**RLG CONSULTING ENGINEERS**  
 1200 N. CENTRAL EXPRESSWAY, SUITE 200, DALLAS, TX 75243  
 803 W. WICKLIFF ROAD, SUITE 100, FORT WORTH, TX 76104  
 WWW.RLG.COM TEL: 214.741.1100

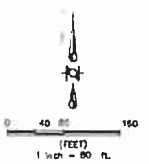
**WATER SERVICES 2**  
**CLEBURNE RESIDENTIAL**  
 1501 PARK BLVD  
 CLEBURNE, TX 76033  
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	PAGE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.09



DATE: 4/18/2024  
 TIME: 10:00 AM  
 DRAWN BY: JAR  
 CHECKED BY: JAR  
 PROJECT: WATER SERVICES 2  
 SHEET: C07.09





MAJ HOLDINGS  
CALLED 18X 033 ACRES  
GOC NO. 2021-5453

SILT FENCE

SILT FENCE

ROCK CHECK DAM

ROCK CHECK DAM

INLET PROTECTION

INLET PROTECTION

INLET PROTECTION

FOOT OF 20X14 200' ASBESTOS DAM

SILT FENCE

CITY OF CLEBURNE, TEXAS  
CALLED 75,000 ACRES  
BOOK 2215 PAGE 0333

**LEGEND**

- MA --- EXISTING CONTOUR LINE
- MB --- PROPOSED CONTOUR LINE
- INLET PROTECTION
- INSTALL SILT FENCE
- ▨ INSTALL 50' TEMPORARY CONSTRUCTION ENTRANCE
- ◆◆◆◆ ROCK CHECK DAM
- ▭ ORGANIC FILTER TUBE

**NOTES:**

1. SOIL TRACKED ONTO PUBLIC ROADS MUST BE REMOVED PRIOR TO THE NEXT RAIN EVENT, IF FEASIBLE.
2. USHC WATER TO WASH SEDIMENT FROM ROADWAYS IS PREFERRED.
3. TOTAL DISTURBED AREA = 27 ACRES

**RLG CONSULTING ENGINEERS**  
1301 W. CENTRAL EXPRESSWAY SUITE 200 DALLAS, TX 75201  
808 W. PINEBERRY BOULEVARD #102 FORT WORTH, TX 76104  
WWW.RLGINC.COM TSP FIRM REG. 7-03

**EROSION CONTROL PLAN**

**CLEBURNE RESIDENTIAL**  
1301 PARK BLVD  
CLEBURNE, TX, 76033  
JOHNSON COUNTY, TEXAS

**REVISIONS**

NO.	DATE	DESCRIPTION
1	4/18/2024	ISSUE FOR PERMITS

DATE: 4/18/24

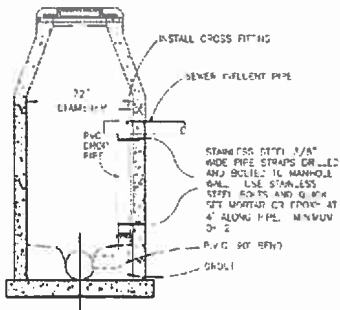
NO.	DATE	FILE	NO.	SHEET
RLG	RLG	4/18/2024	2223	007





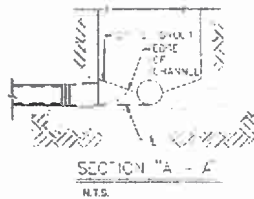
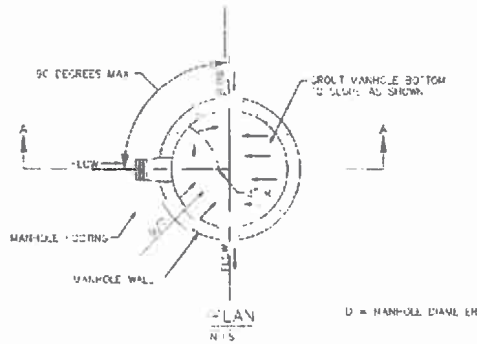






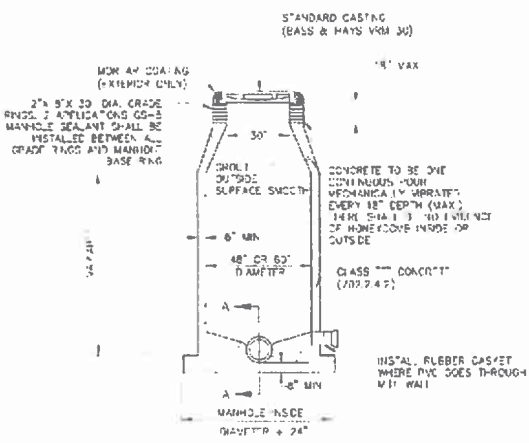
**DROP CONNECTIONS TO SANITARY SEWER MANHOLE**

1. DROP PIPE SHALL BE ONE SIZE LARGER THAN SEWER SUBJECT PIPE.
2. ALL DROP MANHOLES SHALL BE 24\"/>



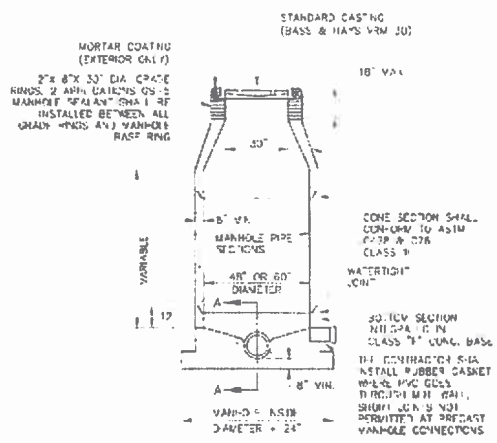
**GENERAL NOTES:**

1. ALL CONSTRUCTION MATERIALS WHETHER AND PLACEMENT DETAILED BELOW SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS OF THE NON-RESIDENTIAL ROAD CONSTRUCTION DEPARTMENT, OCTOBER 2005 EDITION, UNLESS INDICATED OTHERWISE BY CITY OF CLEBURNE STANDARD SPECIFICATIONS OR MATERIAL TESTING POLICIES.
2. RING AND COVER SHALL BE CASTING SANDS (TYPE 3 & 4) PER ASTM D 100. CAST IN PLACE MANHOLE OR WEIGHTED DESIGN CONCRETE SHALL BE CAST IN PLACE AND COVER TO BE USED BY 1000-PRESS AT A MINIMUM APPROVED BY THE CITY.
3. MANHOLE WALLS SHALL BE CAST IN PLACE UNLESS OTHERWISE SPECIFIED.
4. MANHOLES SHALL BE FINISHED MONOLITHICALLY WITH SMOOTH 1/4\"/>



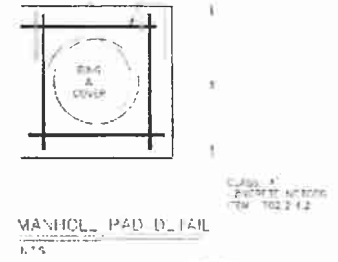
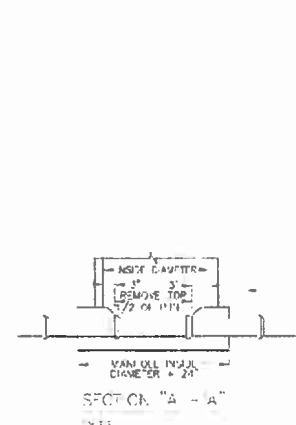
**CAST IN PLACE MANHOLE**

1. MANHOLES 48\"/>



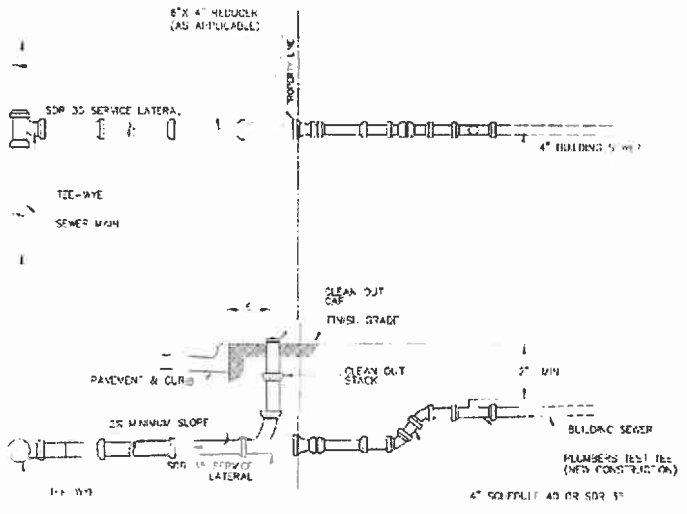
**PRECAST CONCRETE MANHOLE**

1. MANHOLES FOR SEWER MAINS 18\"/>



**GENERAL NOTES**

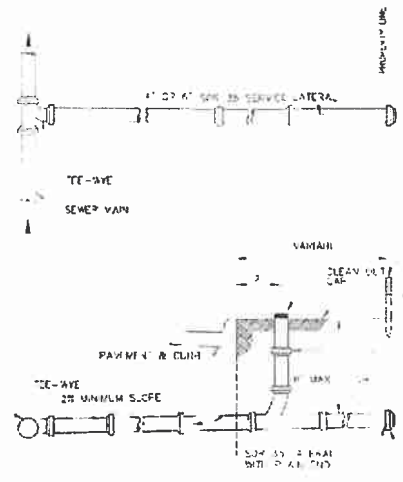
1. ALL LINES MUST BE MARKED, MEASURED AND RECORDED NOT LATER THAN 10 BUSINESS DAYS OR PERIOD THE STANDARD SPECIFICATIONS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, OCTOBER 2004 EDITION UNLESS SPECIFIED BY CITY OR COUNCIL STANDARD SPECIFICATIONS ON VEHICULAR TRAVEL SURFACES.
2. WHERE COVER IS LESS THAN 3.0 FEET, SANITARY SEWER VAINS AND LATERALS SHALL BE CONCRETE ENCASED OR CAPPED (SEE SHEET SS-3).
3. METALLIC TRACER/MARKER TAPE, GREEN IN COLOR AND VARNISHED "SANITARY SEWER", TO BE PLACED ALONG MAIN LINES & SERVICES ON TOP OF CRUSHED STONE FILL/EMBEDMENT.
4. DOUBLE SWEEP CLEANOUT 1" TO 2" BEHIND CURB.
5. NO APPURTENANT STRUCTURES ALLOWED IN SIDEWALKS OR DRIVEWAYS.
6. CLEANOUTS ARE TO BE LOCATED IN THE SIDEWALK BLINDING THE CURB AND SIDEWALK.
7. CLEANOUTS ARE NOT ALLOWED IN DRIVEWAYS OR SIDEWALKS.
8. MANHOLES ARE ALLOWED AT END OF SERVICE MAIN.



**NOTES**

1. RUBBER BOOTS WILL ONLY BE PERMITTED FOR CLAY OR COPPER - THE SERVICE PIPE AND MUST BE CONCRETE ENCASED.
2. USE 4" CLEANOUT ON PLY DWELLING UNIT (RESIDENTIAL ONLY).

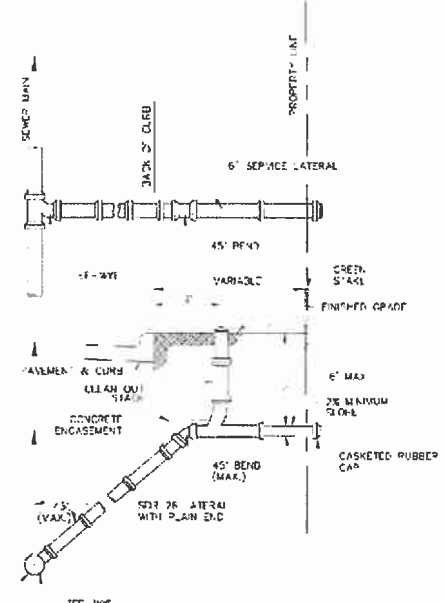
**STANDARD SEWER SERVICE CONNECTION**  
N.T.S. (PLUMBER CONNECTION OF OLD RECONSTRUCTION)



**NOTES**

1. USE 4" CLEANOUT FOR DWELLING UNIT (RESIDENTIAL ONLY).

**STANDARD SEWER SERVICE FOR NEW CONSTRUCTION**  
N.T.S. (4" MIN FOR RESIDENTIAL ONLY)

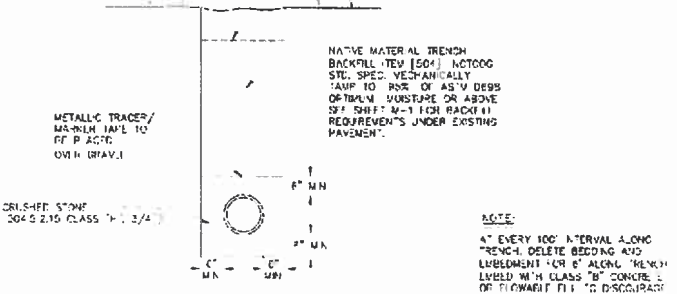


**STANDARD DEEP SERVICE DETAIL FOR NEW CONSTRUCTION**  
N.T.S.

**NOTES**

1. ROTATE TEE-WYE TO 45° MAX.
2. ONLY ONE 45° BEND WILL BE USED. 45° BEND MUST BE PLACED OUTSIDE OF PAVEMENT WHERE POSSIBLE.
3. CONCRETE ENCASE 45° BEND.

WHERE NECESSARY REFER TO TRENCH DETAILS FOR PAVEMENT REPAIR



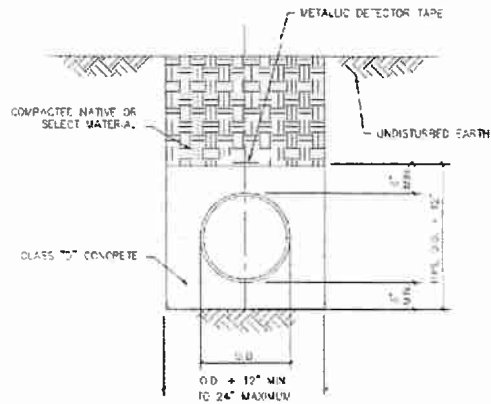
**SANITARY SEWER TYPICAL EMBEDMENT**  
N.T.S.

**NOTE**

AT EVERY 100' INTERVAL ALONG TRENCH, DELETE BEDDING AND EMBEDMENT FOR 6" ALONG TRENCH LINED WITH CLASS "B" CONCRETE OF FLOWABLE FILL TO DISCOURAGE WATER MOVEMENT DOWN TRENCH.



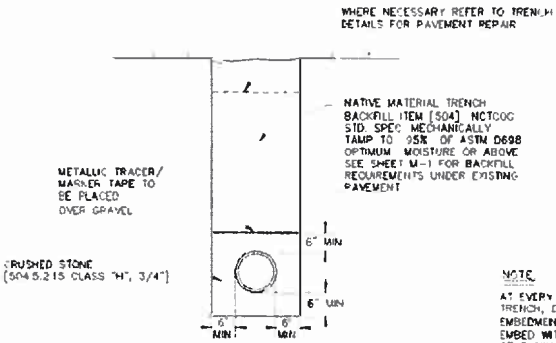




NOTE:  
CONCRETE ENCASEMENT\*  
MAY BE MODIFIED FOR A  
CONCRETE CAP

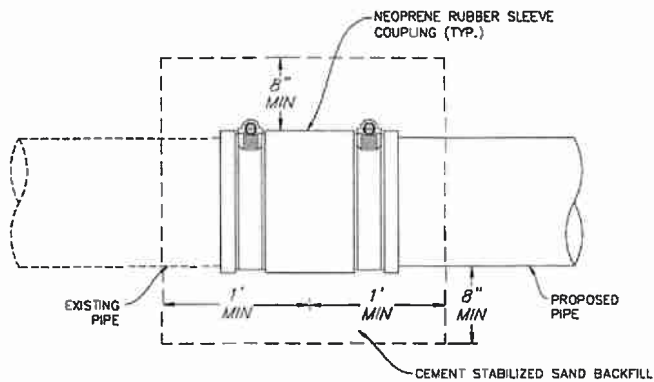
**CONCRETE ENCASEMENT**

N.T.S.




**SANITARY SEWER TYPICAL EMBEDMENT**

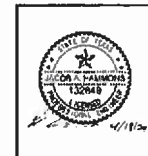
N.T.S.



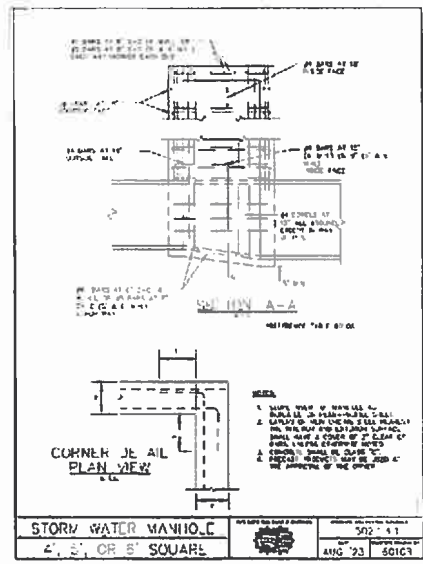
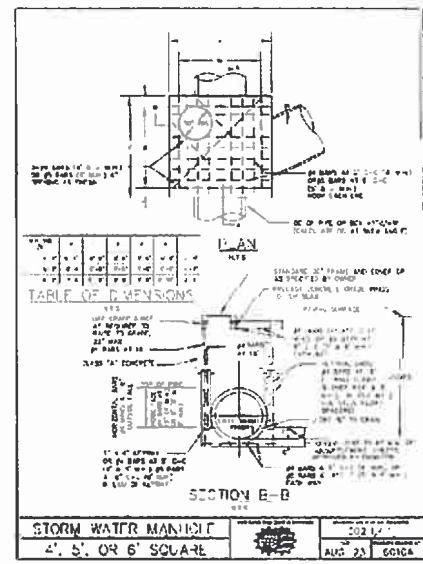
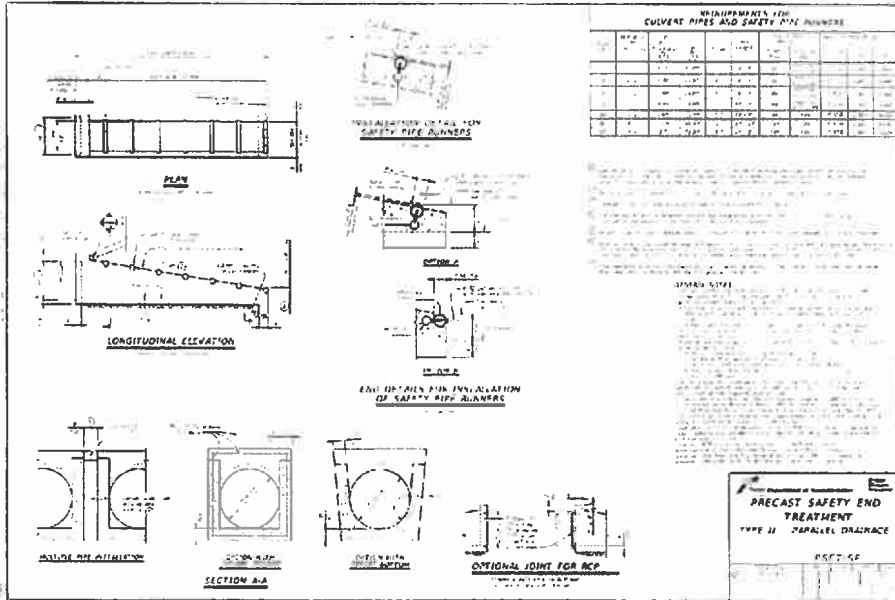
**SANITARY SEWER POINT REPAIR DETAIL**

N.T.S.

 <b>RLG CONSULTING ENGINEERS</b> 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243 823 W. VICKERY ROAD SUITE #100 FORT WORTH, TX 76104 WWW.RLGCONS.COM TYPED FROM REC. F-403					
<b>SEWER DETAILS</b>					
<b>CLEBURNE RESIDENTIAL</b>					
<b>1501 PARK BLVD</b>					
<b>CLEBURNE, TX, 76033</b>					
<b>JOHNSON COUNTY, TEXAS</b>					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C09.05



DESIGNED BY:  
 R. L. G.  
 1501 Park Blvd  
 Cleburne, TX 76033  
 P. 817.741.1111  
 F. 817.741.1111  
 E. rlg@rlg.com  
 4/18/24



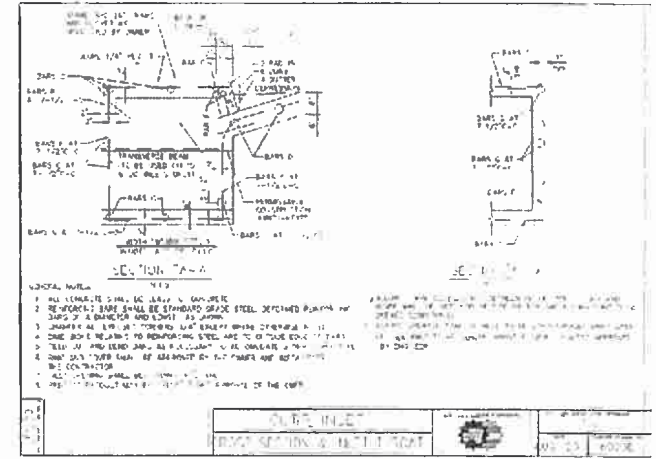
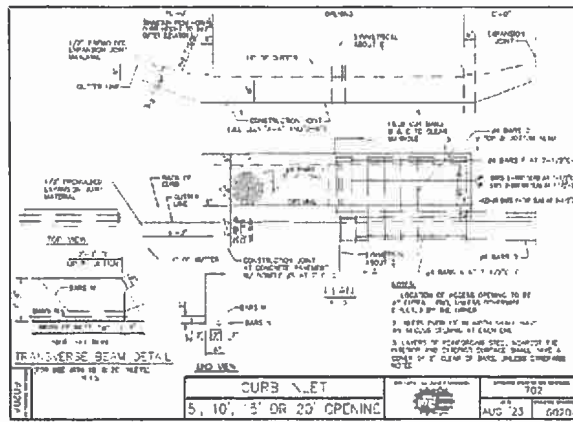
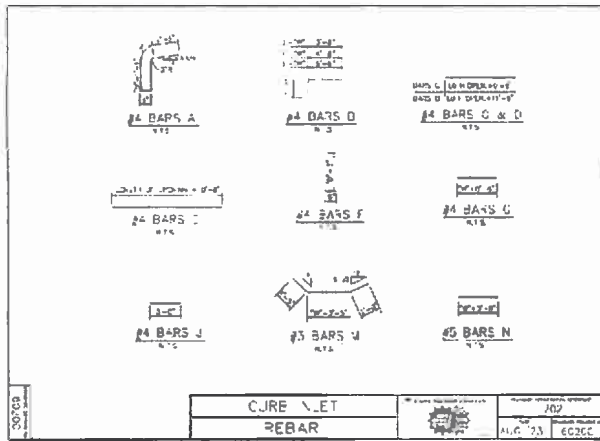


TABLE OF REINFORCING STEEL

TYPE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
1	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

**CURB VLET**  
5, 10, 15 OR 20' OPENING

702  
AUG 23 2022

TABLE OF REINFORCING STEEL

TYPE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
1	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

**CURB VLET**  
5, 10, 15 OR 20' OPENING

702  
AUG 23 2022

**RLG CONSULTING ENGINEERS**  
1300 W. CENTRAL EXPWAY SUITE 2000 DALLAS, TX 75203  
885 W. VICKERY BOULEVARD #100 FORT WORTH, TX 76104  
WWW.RLGCE.COM TEXAS REG. P. 483

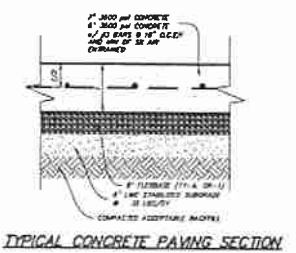
**STORM DETAILS (SHEET 2 OF 2)**

**CLEBURNE RESIDENTIAL**  
1501 PARK BLVD  
CLEBURNE, TX, 76033  
JOHNSON COUNTY, TEXAS

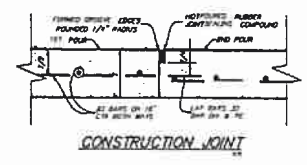
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C09.07



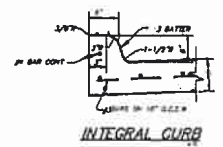




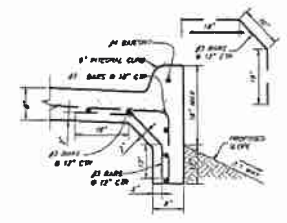
TYPICAL CONCRETE PAVING SECTION



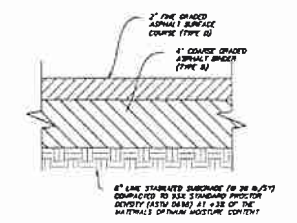
CONSTRUCTION JOINT



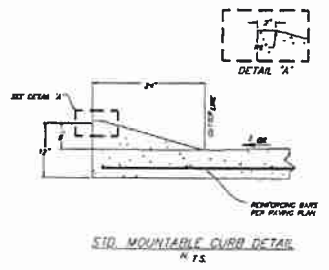
INTEGRAL CURB



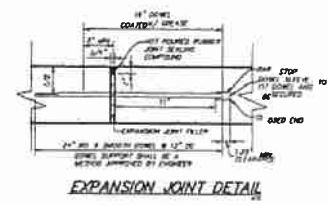
PAVEMENT GRADE BEAM



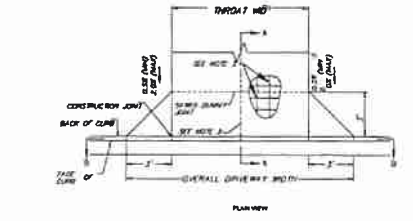
TYPICAL ASPHALT PAVING SECTION



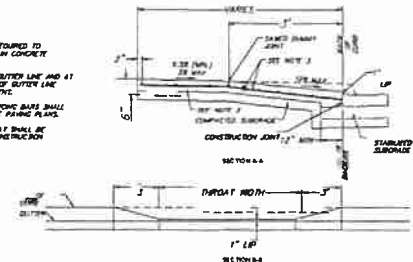
STD. MOUNTABLE CURB DETAIL



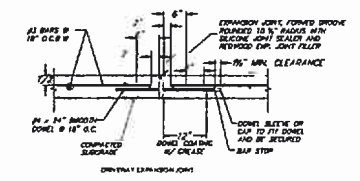
EXPANSION JOINT DETAIL



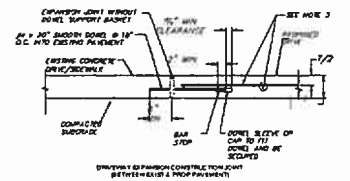
PLAN VIEW



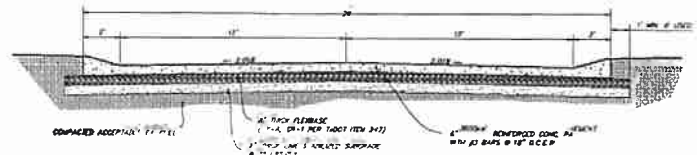
PAN DRIVEWAY APPROACH DETAIL



DRIVEWAY EXPANSION JOINT



DRIVEWAY EXPANSION JOINT BETWEEN EXISTING PAVEMENT



TYPICAL DRIVEWAY SECTION

NOTE:  
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.  
2. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.  
3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.  
4. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

GENERAL NOTE

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



REVISIONS  
DATE  
BY  
REASON

RLG CONSULTING ENGINEERS  
1701 N. CENTRAL EXPRESSWAY SUITE DALLAS, TX 75201  
825 W. VICKERY ROAD SUITE 8100 FORT WORTH, TX 76104  
WWW.RLGCON.COM TEL: 214.758.7400

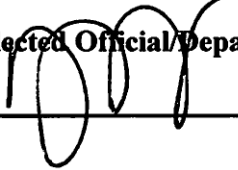
PAVING DETAILS  
CLEBURNE RESIDENTIAL  
1501 PARK BLVD  
CLEBURNE, TX, 76033  
JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C09.08



**AGENDA PLACEMENT FORM**

(Submission Deadline – Monday, 5:00 PM before Regular Court Meetings)

**Date:** April 30, 2024  
**Meeting Date:** May 13, 2024  
**Submitted By:** Julie Edmiston  
**Department:** Public Works  
**Signature of Elected Official/Department Head:**  


**Court Decision:**  
This section to be completed by County Judge's Office



May 13, 2024

**Description:**  
Consideration of Order 2024-43, Order Approving Infrastructure Development Plan for Villa De Mariposas, Manufactured Home Rental Community, by CRE-MPC Buffalo Creek Owner, LLC. in Precinct 1.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(May attach additional sheets if necessary)

**Person to Present:** Jennifer VanderLaan

(Presenter must be present for the item unless the item is on the Consent Agenda)

**Supporting Documentation:** (check one)     PUBLIC     CONFIDENTIAL

(PUBLIC documentation may be made available to the public prior to the Meeting)

**Estimated Length of Presentation:** 10 minutes

**Session Requested:** (check one)  
 Action Item     Consent     Workshop     Executive     Other \_\_\_\_\_

**Check All Departments That Have Been Notified:**  
 County Attorney     IT     Purchasing     Auditor  
 Personnel     Public Works     Facilities Management

Other Department/Official (list) \_\_\_\_\_

**Please List All External Persons Who Need a Copy of Signed Documents In Your Submission Email**